

AVON LOCAL SCHOOLS FACILITY ASSESSMENTS

October 31, 2023



ARCHITECTURAL **VISION** GROUP, LTD.
DREAM **VISUALIZE** REALIZE



Executive Summary

The scope of this assessment was to analyze Avon East Elementary, Heritage Elementary, Avon Early Learning Center and the Avon Board of Education Facilities with the purpose of developing an estimate for renovation. The goal was to review the state of the existing buildings along with the Board of Education building and evaluate the difference between renovation and the costs for a new building of the same size.

Heritage Elementary (originally constructed in 2001, with additions in 2004 and 2006) was assessed for specific renovations only, as the building will not be considered for total replacement. This building was evaluated to house PK-K grades, Grades 1-2 students and potentially house the Board of Education offices.

The renovations were to be viewed as extensive enough for the schools to be inhabited for the next 20 to 25 years. The OFCC guidelines and costs were used as the basis of the renovation requirements for each system.

A study in the replacement of Avon East Elementary, Avon Early Learning Center and the Avon Board of Education at the same size and location was also conducted based on OFCC size and cost per square foot ratios. As per the District's request, cost was developed for a New Elementary building for Grades 3 through 5 for a student enrollment of 1,050 students. An additional 10% material escalation cost was added to these costs due to current market trends.

Avon Local Schools Preliminary Assessment Summary					
	Reno Existing Buildings	Build new at same size building	Renovate to Replace Ratio	Reno Heritage + Demo + New 3-5	
East Elementary (Existing 70,490 SF)	\$ 23,362,457.10	\$ 30,013,796.00	78%	\$ 889,502.00	Demo
Heritage Elementary (Existing 148,281 SF)	\$ 23,944,608.30	\$ 59,423,907.00	40%	\$ 23,984,151.00	Reno
Early Learning Center (Existing 64,490 SF)	\$ 25,585,865.38	\$ 28,657,208.00	89%	\$ 813,914.00	Demo
Board of Education (Existing 49,221 SF)	\$ 20,730,029.60	\$ 22,712,489.00	91%	\$ 624,722.00	Demo
New 3-5 Elementary	N/A	N/A	N/A	\$ 50,314,254.00	New
Project Totals	\$ 93,622,960.38	\$ 140,807,400.00		\$ 76,626,543.00	

<u>Assumptions:</u>
> Cost Set revised to 2023 Ohio School Design Manual
> Material escalation of 10% applied to all costs due to market conditions
> 10% Construction Contingency included in renovation costs
> Demolition and any grade configurations costs not included
> 10.31.23 Summary

Avon Local Schools

FACILITY ASSESSMENT REPORT

Building Assessment

Avon East Elementary Grades 1-2



General Description



Avon East Elementary, which is not on the National Register of Historic Buildings, and originally constructed in 1961, with additions in 1964, 1970, 2003, and 2004, is a single story, 70,490 square foot brick school building located in a suburban residential setting, and serves Grades 1-2. The existing facility features a conventionally partitioned design, and does not utilize modular buildings.

The structure of the overall facility contains masonry type exterior wall construction, with masonry and gypsum board type wall construction in the interior. The floor system consists of slab on grade. The roof structure is tectum deck and metal deck. The roofing system of the overall facility is EPDM, installed in 2000. The ventilation system of the building is inadequate to meet the needs of the users.

The classrooms are undersized in terms of the current standards established by the State of Ohio. Physical Education and Student Dining spaces consist of one Gymnasium and separate Student Dining. The electrical system for the facility is in good condition. The facility is equipped with a security system. The building has a compliant automatic fire alarm. The facility is equipped with a compliant automated fire suppression system. The building contains asbestos and other hazardous materials. The overall building is not compliant with ADA accessibility requirements.

The school is located on a 8.63 acre site adjacent to residential properties. The property and playgrounds are partially fenced for security. Access onto the site is unrestricted. Site circulation is fair. There is dedicated space for school buses to load and unload on the site. Parking for staff, visitors and community events is adequate.

ITEM A: HEATING SYSTEM

Description

The original facility was built in 1961, with additions occurring in 1964, 1970, 2003, and 2004. The 1964 building utilizes separate furnace/AC units mounted in outdoor storage rooms. Each classroom has its own dedicated unit. These units are ducted into a duct plenum below the window with a top-mounted supply diffuser and sidewall return grille. No outside air ventilation is present with these units.

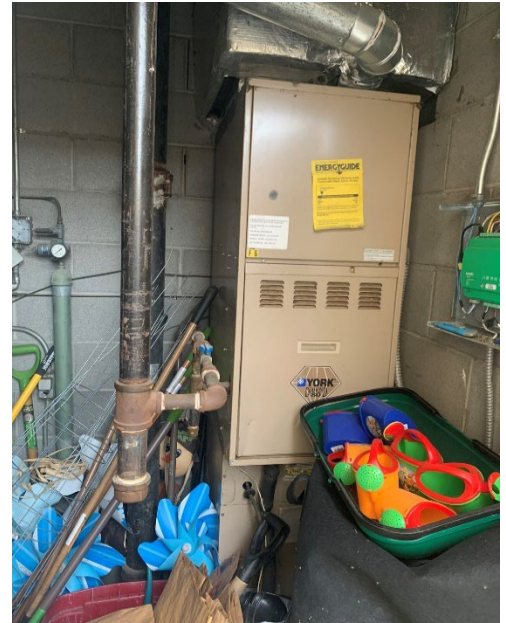
The 1970 addition includes 3 gas-fired, rooftop HVAC units that are single zone and serve the kitchens, cafeteria and offices. We could not verify if proper ventilation rates are provided to the spaces.

The 2003 addition includes 8 classrooms each served by a separate gas fuel rooftop HVAC unit. The gym, art room and music room portion also has a separate single zone rooftop unit serving each space. We could not verify if proper ventilation rates were provided at each unit.

The 2004 classroom wing is served from a gas-fired multi-zone rooftop unit. This unit serves 11 classrooms. We could not verify if proper ventilation rates were being provided.

There is not a central boiler system, all the equipment is gas-fired. In addition, as noted above most of the areas probably lack the required ventilation air and separate controls for each space. The controls have been updated to electronic DDC controls with a Tridium system for the front end.

It appears that the furnace/AC units are about 20+ years old with the remaining rooftop single zone and multi-zone units being installed when the addition occurred. Typical life expectancy of RTU's is 15-20 years.



Classroom Furnace/AC Unit



Single Zone RTU

Recommendations

Provide overall new heating systems including air conditioning in all areas. The new systems will have central heating and cooling systems to eliminate all the single zone equipment. Separate control for each space will be provided along with adequate outside air ventilation.

Cost

A.	HVAC System Replacement	\$50.81 x 70,490	SF	\$ 3,581,597.00
	Convert Ducted System	\$9.68 x 70,490	SF	\$ 682,343.20
				<hr/>
				\$ 4,263,940.20

ITEM B: ROOFING

Description

The roof over the overall facility is an EPDM system that was installed in 2000, and is in poor condition. There are no District reports of current leaking. No signs of past leaking were observed during the physical assessment. Access to the roof was gained by access hatch that is in fair to poor condition, as well as access door that is in fair condition. Fall safety protection cages are not required and are not provided.



Existing Roof

There were observations of standing water on the roof. Metal cap flashings and stone copings are in fair condition. Roof storm drainage is addressed through a system of roof drains, which are properly located, and in poor condition. The roof over much of the building is not equipped with overflow roof drains though they will be required in areas of roof replacement. The 2003 gymnasium addition, and 2004 addition contain overflow drains.



No problems requiring attention were encountered with any roof penetrations.

There is a covering at the entrance to the building that is Kalwall and sloped steel structure. It is in poor condition and does not have any gutters, which causes washout in the area below.

Recommendations

The roof over the overall facility requires replacement to meet Ohio School Design Manual guidelines due to age of the system. Due to the roof replacement, roof drains require replacement and overflow drains will be required to be added. Coping and flashing should be replaced as well due to roof replacement. Roof ladders should be replaced due to condition, as well as the access hatch. Gutters should be added to covering at the entrance.



Electrical Conduits

Roof Hatch

Cost

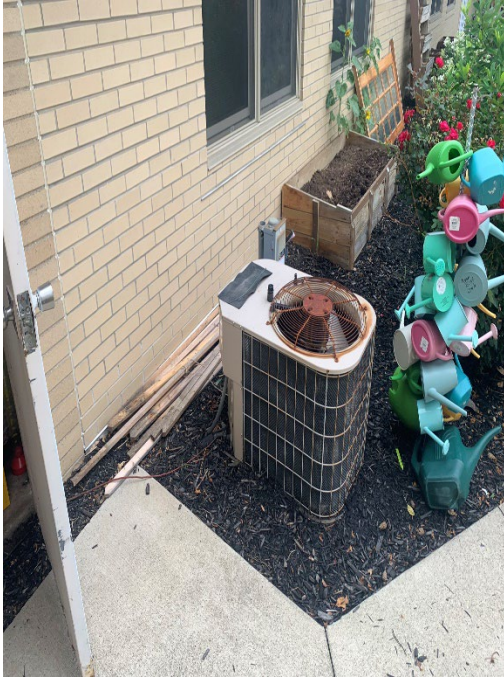
B.	TPO Membrane Replacement	\$18.69 x 70,490	SF	\$	1,317,458.10
	Tapered Insulation	\$5.58 x 70,490	SF	\$	393,334.20
	Tectum Deck Replacement	\$6.35 x 5,000	SF	\$	31,750.00
	Flashing/Coping	\$22.26 x 2,378	LF	\$	52,934.28
	Roof Drains	\$1,451.25 x 38	ea	\$	55,147.50
	OF drains	\$3,629.27 x 22	ea	\$	79,843.94
	Gutters and Downspouts	\$20.00 x 92	LF	\$	1,840.00
	Roof Ladder	\$120.98 x 30	LF	\$	3,629.40
	Roof Access Hatch	\$2,419.51 x 1	ea	\$	2,419.51
				\$	1,938,356.93

ITEM C: AIR CONDITIONING

Description

The entire facility has air conditioning as noted in the Item A write-up above. There is no central cooling plant in use.

General exhaust is present and adequate in all group restrooms, janitors' closets and storage rooms. The art room has a kiln with an exhaust hood. There are no other specialty classrooms where additional exhaust is required.



Furnace/AC Condensing Unit



Furnace Supply Chase

Recommendations

Upgrade the entire heating and air conditioning system as noted in Item A. All costs are covered in that section.

Cost

C. No Work required

ITEM D: ELECTRICAL

Description

The electrical system provided to the overall facility is a 480 Volt, 1200 Amp, 3 phase, 4 wire system installed in the 2003 addition, and is in good condition. The system back feeds the panels in the original construction and additions utilizing conduits mounted above the roof.

Power is provided to the school by a single utility owned, pad-mounted transformer located outside the building, and in good condition. The panel system, installed in 2003 on the mezzanine in the Maintenance Room, is in good condition, and can be expanded to add additional capacity.

The Classrooms are equipped with adequate electrical outlets. The typical Classroom contains 14 general purpose outlets, no dedicated outlets for Classroom computer, and one dedicated outlet for each Classroom television. Some Classrooms are equipped with as many as 16 general purpose outlets, while others are equipped with as few as 12 general purpose outlets. There are not any spaces that have no electrical outlets.

The Corridors are equipped with adequate electrical outlets for servicing. Adequate GFI protected exterior outlets are not provided around the perimeter of the building. The facility is not equipped with an emergency generator. Adequate lightning protection safeguards are not provided.

The existing facility is not equipped with a Stage.

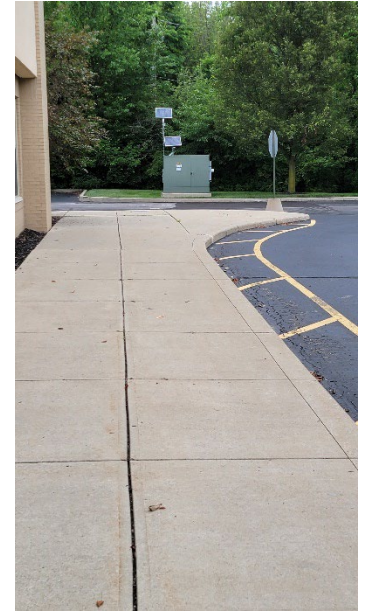
The overall electrical system meets Ohio School Design Manual requirements in supporting the current needs of the school, and will be adequate to meet the facility's future needs.

Recommendations

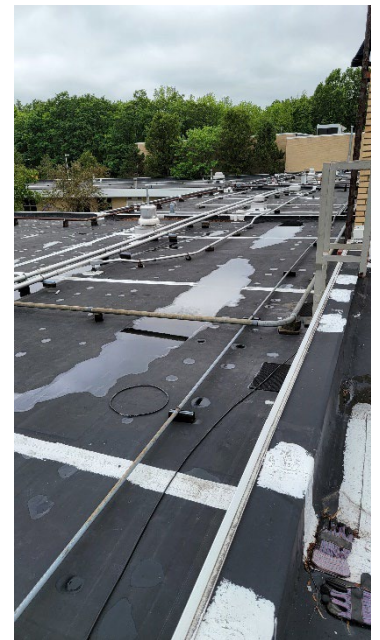
Remove and replace electrical feeders on roof due to roof replacement.
 Provide adequate lightning protection safeguards.
 Provide cost for electrical generator.

Cost

D.	Remove and replace feeders on roof	Lump Sum	\$	443,000.00
	Provide Lighting protection	\$0.72 x 70,490	SF	\$ <u>50,752.80</u>
			\$	493,752.80



Pad Mounted Transformer



Electrical Feeder Conduits on Roof

ITEM E: PLUMBING

Description

The incoming water service for the entire facility is a 4" line with the required backflow preventer. The overall facility has 3 gas-fired domestic water heaters. Two are only 4 years old and one is 13 years old. This one should be replaced due to the age.

The overall facility has 3 group restrooms for boys and 3 group restrooms for girls. There are 14 water closets (12 floor-mounted and 2 wall-mounted) with automatic flush valves and 4 wall-mounted water closets with manual flush valves, 10 urinals (6 floor-mounted and 4 wall-mounted) with manual flush valves and 1 wall-mounted urinal with automatic flush valve. There are 14 wall-hung lavatories with manual faucets and 4 wall-hung lavatories with sensor faucets.

The facility has 7 staff restrooms. There are 8 floor-mount water closets (6 with automatic flush valves and 2 with manual flush valves), and 8 wall-hung lavatories (3 with automatic faucets and 5 with manual faucets).

In addition, there are 7 electric water coolers, 4 are in good shape and 3 should be replaced due to age and condition.

Each of the classrooms have sinks and a sink-mounted drinking fountain.

The kitchen is a full-service kitchen with the following fixtures: 1 hand sink, 1 3-bowl sink with garbage disposal, 1 single bowl sink with garbage disposal and 1 single bowl sink. There is no grease trap and there is a dedicated domestic water heater for the kitchen fixtures.

There are no specialty science classrooms that require any emergency eyewash showers or acid drain piping.

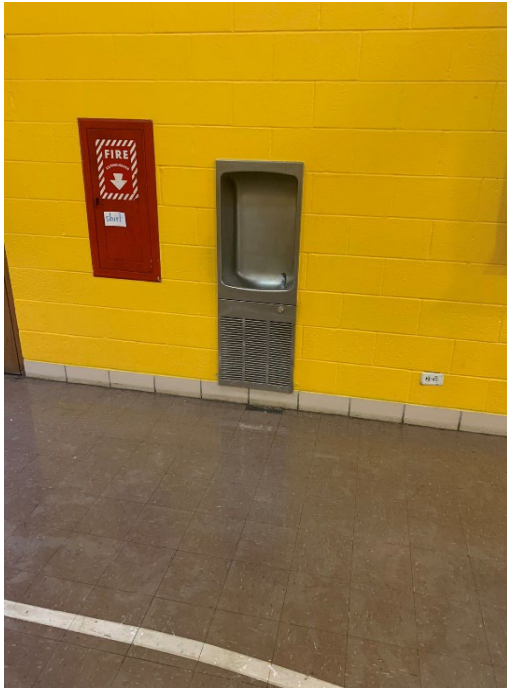
All of the plumbing fixtures should be replaced with low flow type due to age.



Water Service Backflow Preventer



Gas-fired Domestic Water Heater



Electric Water Heater



Classroom Sink with Water Fountain

Recommendations

- Remove/Replace 1 domestic hot water heater.
- Remove/Replace 26 water closets.
- Remove/Replace 11 urinals.
- Remove/Replace 26 lavatories.
- Remove/Replace 3 electric water coolers.
- Add a grease trap to the kitchen sanitary system.

Cost

E.	Replace Domestic Water Heater	\$12,000.00 x 1	unit	\$	12,000.00
	Remove/Replace water closets	\$1,814.64 x 26	unit	\$	47,180.64
	Remove/Replace urinals	\$1,814.64 x 11	unit	\$	19,961.04
	Remove/Replace lavatories	\$1,814.64 x 26	unit	\$	47,180.64
	Remove/replace EWC w/bottle fillers	\$3,629.27 x 3	unit	\$	10,887.81
	Add kitchen indoor grease trap	\$6,000.00 1	unit	\$	6,000.00
				\$	143,210.13

ITEM F: WINDOWS

Description

The 1970 Addition is equipped with aluminum frame windows with single glazed type window system, which is original to the addition, and is in poor condition. The 2004 addition has aluminum clad wood windows which are in fair to poor condition. The remainder of the facility has aluminum frame windows with double glazed insulated type window system in fair condition. The window system features operable windows throughout the building, and operable windows are not equipped with opening limiters. Windows feature sashes that do not stay open and therefore are hazardous to users. Window system seals are in fair condition, with minimal air and water infiltration being experienced. Window system hardware is in fair to poor condition. The window system features surface mounted blinds in the 1970 Addition and integral blinds in the remainder of the building, which are in fair condition.

This facility is not equipped with any curtain wall systems. This facility does not feature any glass block windows.

The exterior doors in the overall facility are equipped with aluminum frame sidelights and transoms with double glazed insulated glazing, in fair condition. Exterior door vision panels are double glazed insulated glazing.

The school does not contain skylights. The school does not contain any clerestories. Interior glass is OSDM-compliant. Window security grilles are not provided for ground floor windows. There is not a Greenhouse associated with this school.



Recommendations

Provide a new insulated window system with integral blinds due to existing window conditions.

Cost

F.	Window Replacement	\$122.85 x 2,747	SF	\$ 337,468.95
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ITEM G: STRUCTURE – FOUNDATION

Description

The overall facility is equipped with concrete masonry unit foundation walls on concrete footings, which displayed no locations of significant differential settlement, cracking, or leaking, and are in good condition. No significant issues related to foundation cracking or spalling were encountered. The District reports that there has been no past leaking. No grading or site drainage deficiencies were noted around the perimeter of the structure that are contributing or could contribute to foundation / wall structural deterioration.

Recommendations

Existing conditions require no renovation or replacement at the present time.

Cost

G. No Work required

ITEM H: STRUCTURE (WALLS AND CHIMNEYS)

Description

The overall facility has a brick veneer on load bearing masonry wall system, which displayed minimal locations of deterioration, and is in fair condition. The exterior masonry appears to have appropriately spaced and adequately caulked control joints in fair condition. Control joints are provided at lintel locations, at doors and windows, building corners, and wall offsets. The school does have sufficient expansion joints, and they are in fair condition.

Brick veneer masonry walls are not cavity walls.

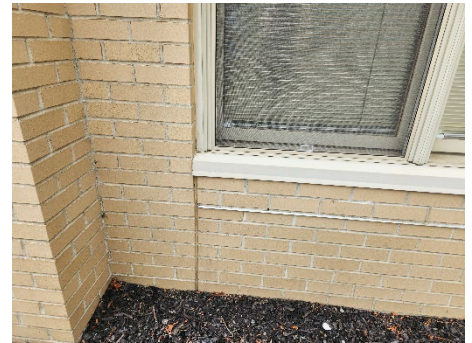
Weep holes are not provided at all lintels, below sills, and the base of masonry cavity walls, and are in poor condition. Weep holes are rope type weeps. Vents are not provided.

The exterior masonry has been cleaned and sealed in recent years, showing no evidence of mortar deterioration. Architectural exterior accent materials consist of EIFS, which is in poor condition.

Interior walls are concrete masonry units and metal stud with gypsum board and are in fair condition. Interior masonry appears to have adequately spaced and caulked control joints in fair condition. Interior soffits are of gypsum board type construction, and in fair condition.

The window sills are concrete, and are in fair condition. The exterior lintels are steel, and are in fair condition, but are not sealed or painted. The chimney is in fair condition, but would require tuckpointing, cleaning, and sealing. Chimneys will not be needed with the new HVAC system proposed in Item A and therefore should be removed. Canopies over entrances are metal panel and Kalwall and are in fair condition. Exterior soffits are of metal panel type construction, and in fair condition.

The school is not equipped with a loading dock.



Recommendations

Provide tuckpointing in all areas of mortar deterioration as required through the overall facility. Provide masonry cleaning, sealing, and caulking as required through the overall facility. Prep and paint exposed steel lintels through the overall facility. Provide for demolition of chimneys.

Cost

H.	Tuckpointing	\$9.08 x 300	SF	\$	2,724.00
	Cleaning	\$1.82 x 23,265	SF	\$	42,342.30
	Sealing	\$1.21 x 23,265	SF	\$	28,150.65
	Demolition of Chimney	Lump Sum		\$	50,000.00
	Clean and Repaint Lintel	\$10.00 x 300	LF	\$	3,000.00
	Clean and Repaint Soffits	Lump Sum		\$	10,000.00
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				\$	136,216.95

ITEM I: STRUCTURE (FLOORS & ROOFS)

Description

The floor construction of the base floor of the overall facility is concrete slab on grade type construction, and is in good condition. There is no crawl space.

There are no intermediate floors in this single-story structure.

Ceiling to structural deck spaces is insufficient to accommodate HVAC, electrical, and plumbing scopes of work in required renovations. Due to existing ceiling height, dropping the ceiling will not be sufficient for accommodating the HVAC, electrical, and plumbing scopes of work.

The roof construction of the 2003 Addition is metal deck on steel joist type construction, and is in good condition.

The roof construction of remainder of the facility is tectum deck on steel joist type construction, and is in poor condition.

Recommendations

Refer to Item A for funding of architectural soffits to accommodate HVAC, electrical, and plumbing scopes of work. Provide for the replacement of tectum roof deck due to age and condition that could be dangerous during roof replacement.

Cost

- I. No work required

ITEM J: GENERAL FINISHES

Description

The overall facility features conventionally partitioned Classrooms with vinyl asbestos tile (VAT) or vinyl coated tile (VCT) type flooring, acoustical ceiling tile (ACT) type ceilings, as well as CMU type wall finishes, and they are in fair but dated condition. The overall facility has Corridors with VAT type flooring, ACT type ceilings, as well as CMU type wall finishes, and they are in fair but dated condition. The overall facility has Restrooms with porcelain tile type flooring, ACT type ceilings, as well as ceramic tile type wall finishes, and they are in fair condition. Toilet partitions are composite and plastic, and are in fair condition.



Classroom casework in the overall facility is composite type construction with plastic laminate tops, is adequately provided, and in fair to poor condition. The typical Classroom contains 20 lineal feet of casework, and Classroom casework provided ranges from 20 to 36 feet. Classrooms are provided adequate markerboards and tackboards which are in fair condition. The student storage consists of wall hooks, located in the corridors, are adequately provided, and in fair to poor condition. The Art program is equipped with a kiln in fair condition, and existing kiln ventilation is adequate.



The facility is equipped with wood louvered and non-louvered interior doors that are flush mounted without proper ADA hardware and clearances consistently throughout, and in poor condition.

The Gymnasium space has wood type flooring, exposed metal deck type ceilings, as well as CMU type wall finishes, and they are in fair condition. Wood Gymnasium flooring has been well maintained, will accommodate minimal future sandings and refinishings, and is rated at an advanced stage of its product lifecycle. Gymnasium telescoping stands are plastic type construction in fair condition. Gymnasium basketball backboards are electrically operated type, and are in good condition. The Media Center, located in the Original Construction, has carpet type flooring, ACT type ceilings, as well as CMU type wall finishes, and they are in fair but dated condition. Student Dining, located in the 1970 Addition, has VAT type flooring, ACT type ceilings, as well as CMU type wall finishes, and they are in poor condition. OSDM-required fixed equipment for Stage is adequately provided, and in fair condition. Existing Gymnasium, Student Dining, Media Center, and Music spaces are adequately provided with appropriate sound attenuation acoustical surface treatments. The sound attenuation panels in the gymnasium have some damage and should be replaced.



The existing Kitchen is full service, is undersized based on current enrollment, and the existing Kitchen equipment, mostly original to the building, is in poor condition. The Kitchen hood is in fair condition, and is equipped with the required UL 300 compliant wet chemical fire

suppression system. The required 6" overhang on all three exposed sides of the cooking equipment is provided by the hood. Kitchen hood exhaust ductwork is of proper construction / material / insulation / and/or installed as required by the OSDM and OBCMC. Reach-in cooler and freezer are located within the Kitchen spaces, and are in fair condition.

Recommendations

Provide complete replacement of finishes and casework due to installation of systems outlined in Items A, C, D, E, I, K, L, M, N, T, U, W.

Funding for replacement of interior doors is provided in Item O, including doors here noted as being in poor condition.

Provide for cubbies for student storage.

Provide for the replacement of kitchen equipment due to age and condition.

Provide cost for plumbing alterations due to ADA work.

Cost

J. Complete Replacement of Finishes	\$33.57 x 70,490	SF	\$ 2,366,349.30
Wall Insulation	\$7.26 x 70,490	SF	\$ 511,757.40
Stage Curtain	Lump Sum	1	\$ 95,000.00
Wood Flooring Replacement	\$17.00 x 4,845	SF	\$ 82,365.00
Full Kitchen Replacement	\$229.85 x 929	SF	\$ 213,530.65
Cubbies	\$4.23 x 70,490	SF	\$ 298,172.70
Plumbing Renovation (Wall/Flooring Repairs)	Lump Sum		\$ 150,000.00
			\$ 3,717,175.05

ITEM K: INTERIOR LIGHTING

Description

The typical Classrooms in the overall facility are equipped with T-8 2x4 surface mount fluorescent fixtures with dual level switching. Classroom fixtures are in good condition, providing an average illumination of 65 FC, thus complying with the 50 FC recommended by the OSDM.

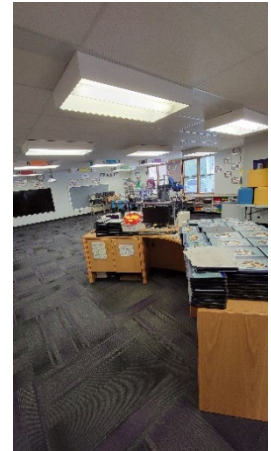


Typical Classroom Lighting

The typical Corridors in the overall facility are equipped with T-8 2x4 surface mount fluorescent fixtures with dual level switching. Corridor fixtures are in good condition, providing an average illumination of 23 FC, thus complying with the 20 FC recommended by the OSDM.

The Primary Gymnasium spaces are equipped with LED high bay fixtures in good condition, providing an average illumination of 41 FC, thus complying with the 30 FC recommended by the OSDM.

The Media Center is equipped with 2x4 surface mount T-8 fluorescent fixture type lighting in good condition, providing an average illumination of 11 FC, which is less than the 50 FC recommended by the OSDM.



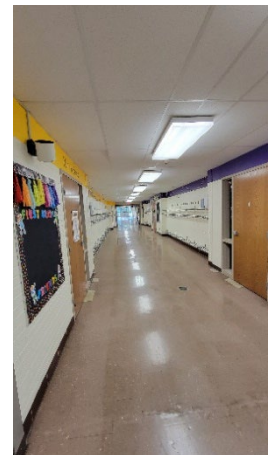
Media Center Lighting

The Student Dining spaces are equipped with suspended fluorescent fixture type lighting with dual level switching. Student Dining fixtures are in good condition, providing an average illumination of 10 FC, which is less than the 50 FC recommended by the OSDM.

The Kitchen spaces are equipped with linear surface mount fluorescent fixtures with dual level switching. Kitchen fixtures are in good condition, providing an average illumination of 50 FC, Thus complying with the 50 FC recommended by the OSDM.

The service areas in the overall facility are equipped with linear suspended T-8 fluorescent fixture type lighting in good condition.

The typical Administrative spaces in the overall facility are equipped with 2x4 lay-in fluorescent fixture type lighting in good condition, providing inadequate illumination based on OSDM requirements.



Typical Corridor Lighting

Recommendations

Provide complete replacement of lighting system due to installation of systems outlined in Items A and U.

Cost

K.	Building Lighting Replacement Includes demo of existing fixtures	\$7.86 x 70,490	SF	\$ 554,051.40
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ITEM L: SECURITY SYSTEM

Description

The overall facility contains an EVS motion detector, CCTV, and door contact security system in good condition, installed in 2023. Motion detectors are adequately provided in main entries, central gathering areas, offices, main Corridors, and spaces where 6 or more computers are located. Exterior doors are equipped with door contacts. An automatic visitor control system is provided. Compliant color CCTV cameras are provided at main entry areas, parking lots, central gathering areas, and main Corridors.

CCTV is monitored in Administrative Area. A compliant computer controlled access control system integrating alarms and video signals, with appropriate UPS backup, is provided. The system is equipped with card readers. The security system is adequately provided throughout, and the system is compliant with Ohio School Design Manual guidelines.

The exterior site lighting system is equipped with wall mounted HID entry lights in poor condition. Pedestrian walkways are illuminated with wall mounted HID lights in poor condition. Parking and bus pick-up / drop off areas are illuminated by pole mounted HID fixtures in poor condition. The exterior site lighting system provides inadequate illumination due to insufficient fixture capacity.

Recommendations

Provide complete replacement of exterior site lighting system to meet Ohio School Design Manual guidelines.

Cost

L.	Exterior site lighting	\$1.21 x 70,490	SF	\$	85,292.90
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ITEM M: EMERGENCY / EGRESS LIGHTING

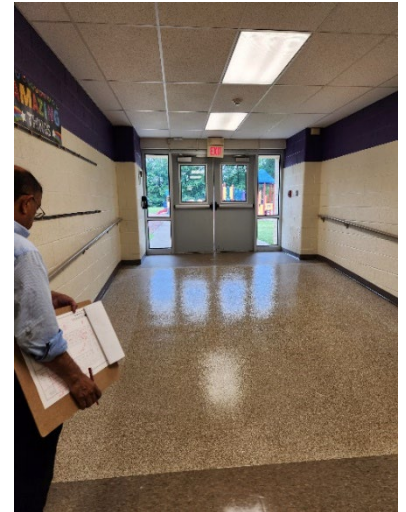
Description

The overall facility is equipped with an emergency egress lighting system consisting of non-compliant red-lettered, plastic construction exit signs, and the system is in good condition. The facility is not equipped with emergency egress floodlighting, but is equipped with fluorescent lighting used as emergency egress lighting, and the system is in good condition. The system is provided with appropriate battery backup.



Recommendations

Emergency lighting will be replaced due to the replacement of fixtures in Item K.



Cost

M.	Complete replacement of system	\$1.21 x 70,490	SF	\$ 85,292.90
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ITEM N: FIRE ALARM

Description

The overall facility is equipped with a Honeywell Gamewell-FCI conventional zoned type fire alarm system in good condition, consisting of manual pull stations, horn and strobe indicating devices, and smoke detectors. The system is automatic and is monitored by a third party. The system is equipped with sufficient audible horns / strobe indicating devices, and smoke detectors. The system thus will support future fire suppression systems. The system is fully compliant with Ohio Building Code, NFPA, and Ohio School Design Manual requirements.



Recommendations

Provide additional tamper and flow switches due to work in Item U.

Cost

N.	Add flow and tamper switches	Lump Sum	\$ 2,500.00
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ITEM O: HANDICAP ACCESS

Description

At the site, there is an accessible route provided from the public right-of-way, the accessible parking areas, and from the passenger unloading zone to the main entrance of the school. There is an accessible route connecting all or most areas of the site. The exterior entrances are mostly ADA accessible due to sidewalk being accessible, but with no door assist. Access from the parking / drop-off area to the building entries is not compromised by steps or steep ramps. Adequate handicap parking is provided. Exterior doors are equipped with ADA hardware. Building entrances should be equipped with 1 ADA power assist door, and none are provided. Playground layout and equipping are not compliant due to playground surface being wood chips and no accessible mats present.



On the interior of the building, space allowances and reach ranges are not compliant. There is an accessible route through the building which does include protruding objects. Ground and floor surfaces are compliant. Ramps and stairs do meet all ADA requirements.

Elevation changes within the overall facility are facilitated by 3 compliant ramps in fair condition. Special provisions for floor level changes in this single-story structure are not required. Access to the Stage is facilitated by a ramp and is in fair condition.

Interior doors are not recessed, are not all provided adequate clearances, and are not all provided with ADA-compliant hardware. The 2003 and 2004 Additions include recessed doors, but not all have adequate clearances. Student accessible spaces are the most consistently provided with ADA-compliant hardware and classrooms have compliant clearances.



6 ADA-compliant toilets are required, and 2 are currently provided. 6 ADA-compliant Restroom lavatories are required, and 2 are currently provided. 3 ADA-compliant urinals are required, and 0 are currently provided. 1 ADA-compliant showers are required, and 0 are currently provided. 1 ADA-compliant electric water coolers are required, and 0 are currently provided that require replacement. Toilet partitions are plastic and composite, and *provide* appropriate ADA clearances. ADA-compliant accessories are adequately provided and mounted. Mirrors do *not* meet ADA requirements for mounting heights.

Due to existing grade configuration, no Science Classroom considerations require evaluation.

Health Clinic and Special Education Restrooms are compliant with ADA requirements.

ADA signage is provided on the interior of the building.

Recommendations

Provide ADA-compliant power assist door openers for entry vestibule, toilets, sinks, urinals, toilet partitions, toilet accessories, doors and frames, and door hardware in the overall facility to facilitate the school's meeting of ADA requirements.

Cost

O.	Door replacement	\$1,572.68 ea. x 89	\$	139,968.52
	Doors w/opening rework	\$6,048.79 ea. x 19	\$	114,927.01
	Power assist door and frame	\$9,073.15 ea. x 3	\$	27,219.45
	Compliant W.C.	\$4,597.08 ea. x 4	\$	18,388.32
	Compliant Lavatories	\$4,597.08 ea. x 4	\$	18,388.32
	Compliant Urinals	\$4,597.08 ea. x 3	\$	13,791.24
	Compliant Restroom Partitions	\$1,750.08 ea. x 4	\$	7,000.32
	Compliant Restroom Accessories	\$1,209.76 ea. x 4	\$	<u>4,839.00</u>
			\$	344,522.18

ITEM P: SITE CONDITION

Description

The 8.63 acre relatively flat site is located in a suburban residential setting with moderate tree and shrub type landscaping. There are no outbuildings. There are no apparent problems with erosion or ponding.

The site is bordered by moderately traveled city roads. Multiple entrances onto the site facilitate proper separation of bus and other vehicular traffic, and one way bus traffic is provided. There is a curbside bus loading and unloading zone in front of the school, which is separated from other vehicular traffic.

Staff and visitor parking is facilitated by multiple asphalt parking lots in poor condition, containing 254 parking places, which provides adequate parking for staff members, visitors, and the disabled. The site and parking lot drainage design, consisting of sheet drainage and catch basins, provides adequate evacuation of storm water, and no problems with parking lot ponding were observed.

Concrete curbs in fair to poor condition are appropriately placed. Concrete sidewalks are properly sloped, are located to provide a logical flow of pedestrian traffic, and are in fair to poor condition. Trash pick-up and service drive pavement is not heavy duty and is in poor condition, and is equipped with a concrete pad area for dumpsters, which is in poor condition.

The playground equipment is primarily constructed of metal and high-density plastic, and is in fair condition. Playground equipment is placed to provide compliant fall zones, and on a non-compliant wood fiber mulch of insufficient depth. The hard surface play area is an asphalt surface with a basketball court and funnel ball. The playground area is equipped with minimal tables and benches in fair condition.

Site features are suitable for outdoor instruction, which is enhanced through the District's provision of raised garden beds in the site's interior on a concrete open courtyard.



Recommendations

Provide for the resurfacing of all asphalt on the site due to condition. Provide for the replacement of concrete sidewalks and curbs as required. Provide for the replacement of the concrete dumpster pad due to condition. Provide for the replacement of playground equipment due to age. Provide for the replacement of playground soft-surface due to non-compliance. Provide for the replacement of fence gate due to damage.

Cost

P.	Replacement of Concrete Curbs	\$38.72 x 30	LF	\$	1,161.60
	Replacement of Concrete Sidewalks	\$9.08 x 1,830	SF	\$	16,616.40
	Replacement of Concrete Dumpster Pad	\$2,903.42 x 1	ea	\$	2,903.42
	Full Depth Replacement of Asphalt Parking/Drives	\$33.63 x 10,634	SY	\$	357,621.42
	Replacement of Playground Equipment	\$1.82 x 70,490	SF	\$	128,291.80
	Playground Soft Play Surface	\$36.29 x 1,305	SY	\$	47,358.45
	Playground of Hard Play Surface	\$40.00 x 1,384	SY	\$	55,360.00
	Replacement of Fencing	\$65.00 x 65	LF	\$	4,225.00
	Site Allowance	Lump Sum		\$	150,000.00
				<hr/>	<hr/>
				\$	763,538.09

ITEM Q: SEWER SYSTEM

Description

The existing system is tied into the municipal system. Based on our walkthrough, school personnel stated no issues are present at this time.

Recommendations

No upgrades currently.

Cost

Q. No Work required

ITEM R: WATER SUPPLY

Description

The existing system is tied into the municipal system. Based on our walkthrough, school personnel stated no issues present at this time. The existing main service line will not support the addition of fire protection to the entire facility. Presently, only 2003 addition has fire protections.

Recommendations

Bring a new fire line into the building. The cost will be included in Item U- Life Safety.

Cost

R. No Work required

ITEM S: EXTERIOR DOORS

Description

Typical exterior doors in the overall facility are aluminum type construction, installed on aluminum frames, and in poor condition with broken hardware and seals. Typical exterior doors feature insulated vision panels, and appropriate hardware. There are steel exterior doors on steel frames located in the 1970 Addition that are in poor condition.

Entrance doors in the overall facility are aluminum type construction, installed on aluminum frames, and in poor condition with broken hardware and sills. Entrance doors feature insulated vision panels, transoms, sidelights, and appropriate hardware.

The facility is equipped with one roof access door, which is in fair condition.

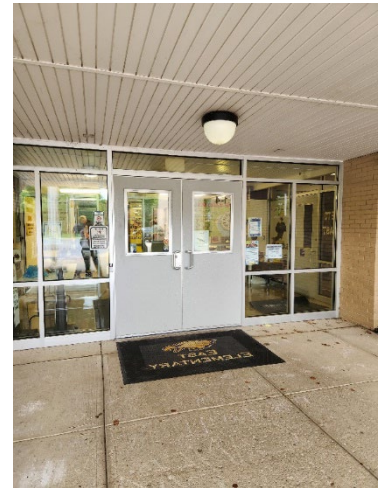
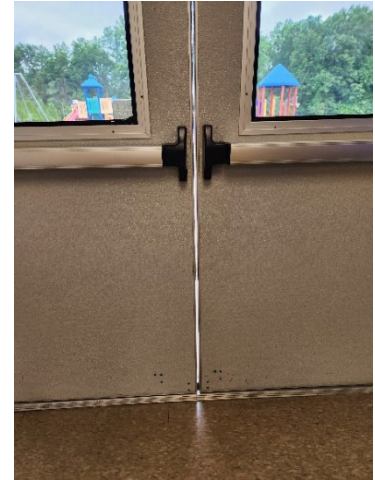
There are no overhead doors in the facility.

Recommendations

Replace all exterior doors due to condition.

Cost

S.	Exterior Door Replacement	\$3,024.39 x 45	ea	\$	136,097.55
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ITEM T: HAZARDOUS MATERIALS

Description

The School District provided potential cost for abatement and hazardous materials through district's consultant.

Recommendations

Remove all hazardous materials, inclusive of asbestos-containing materials in the 1961, 1964, and 1970 Additions. Enhanced environmental assessment will be required at the time of building abatement.

Cost

T.	Abatement Cost	\$ 60,000.00
----	----------------	--------------

ITEM U: LIFE SAFETY

Description

The 2003 addition is the only area of the entire building that is sprinkled. The rest of the facility will be upgraded as required. A new fire line will be extended from the main.

The kitchen is a full cooking kitchen and does have a Type I Hood with Fire Protection System. It appears to be operating properly and will remain. The emergency shut-offs and sensors will be updated to meet present codes

Recommendations

Install 200 linear feet of new water main. Provide a complete Fire Protection System for the entire facility.

Upgrade the sensors and emergency shut-offs for the Type I Hood.

Cost

U.	Fire Line Main to Road	\$60.49 x 200	SF	\$	12,098.00
	Fire Suppressant System	\$4.54 x 63,174	LF	\$	286,809.96
	Kitchen Hood Emergency Shut-Off and Sensors	\$7,863.42 x 1	unit	\$	<u>7,863.42</u>
				\$	306,771.38



ITEM V: LOOSE FURNISHINGS

Description

The typical Classroom furniture is of consistent design, and in generally fair but dated condition, consisting of student desks & chairs / teacher desks & chairs, desk height file cabinets, reading tables, bookcases, wastebaskets, etc. The facility's furniture and loose equipment were evaluated on a scale of 1 to 10 the overall facility received a rating of 5 due to observed conditions, and due to the fact that it lacks some of the Design Manual required elements.



Recommendations

Provide for replacement of outdated or inadequate furnishings.

Cost



V. Replace Furniture

\$8.73 x 70,490

SF

\$ 615,377.70

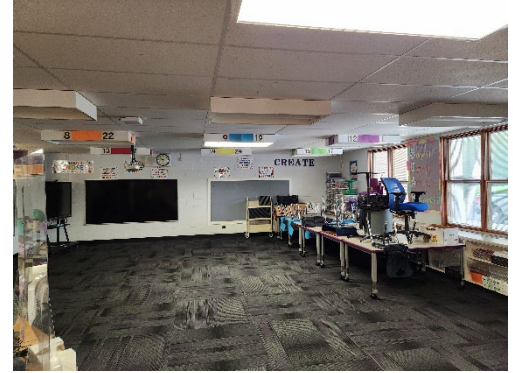
ITEM W: TECHNOLOGY

Description

The typical Classroom is equipped with 7 data ports for student use / one data port for teacher use / one voice port with digitally based phone system that is used as a 2-way PA system that can be initiated by either party / one cable port and monitor to meet Ohio School Design Manual Requirements.



The facility is equipped with a centralized clock system. Specialized electrical / sound system requirements of Gymnasium, Student Dining, and Music spaces are inadequately provided. OSM-compliant computer network infrastructure is provided. The facility does contain a media distribution center and does not provide Computer labs for use by students.



Recommendations

Provide complete replacement of technology systems to meet Ohio School Design Manual requirements, and to sustain the capacity to keep pace with technological development.

Cost

W.	Complete replacement	\$15.75 x 70,490	SF	\$ 1,110,217.50
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Summary – East Elementary

Facility Assessment	Cost
A. Heating System	\$ 4,263,940.20
B. Roofing	\$ 1,938,356.93
C. Ventilation/Air Conditioning	\$ -
D. Electrical Systems	\$ 493,752.80
E. Plumbing and Fixtures	\$ 143,210.13
F. Windows	\$ 337,468.95
G. Structure: Foundation	\$ -
H. Structure: Walls and Chimney	\$ 136,216.95
I. Structure: Floors and Roofs	\$ -
J. General Finishes	\$ 3,717,175.05
K. Interior Lighting	\$ 554,051.40
L. Security Systems	\$ 85,292.90
M. Emergency/Egress Lighting	\$ 85,292.90
N. Fire Alarm	\$ 2,500.00
O. Handicapped Access	\$ 344,522.18
P. Site Condition	\$ 763,538.09
Q. Sewage System	\$ -
R. Water Supply	\$ -
S. Exterior Doors	\$ 136,097.55
T. Hazardous Materials	\$ 60,000.00
U. Life Safety	\$ 306,771.38
V. Loose Furnishings	\$ 615,377.70
W. Technology	<u>\$ 1,110,217.50</u>
Subtotal:	\$ 15,093,782.61
X. Non-Construction Cost	<u>\$ 8,268,674.49</u>

TOTAL **\$ 23,362,457.10**

X. Non-Construction Cost	
Subtotal	\$ 15,093,782.61
10% Design Contingency	<u>\$ 1,509,378.26</u>
Subtotal	\$ 16,603,160.87
10% Construction Contingency	<u>\$1,660,316.09</u>
Subtotal	\$ 18,263,476.96
10% Material Escalation Contingency for '24/'25	<u>\$1,826,347.70</u>
Subtotal	\$20,089,824.66
*16.29% Non-Construction Costs	<u>\$3,272,632.44</u>
	\$8,268,674.49

*Land Survey, Soil Borings/Phase 1 Environmental Report, Agency Approval Fees (Bldg. Code), Construction Testing, Printing-Bid Documents, Advertising for Bids, Builders Risk Insurance, Bond Fees, Design Professionals Compensation, CM Compensation, Commissioning and Maintenance Plan Advisor, Non-Construction Contingency.

East Elementary Additional Costs

Existing 70,490 SF x \$387.08/SF =	\$27,285,269.00
Escalation '24/'25 @ 10%	<u>\$ 2,728,527.00</u>
Total Cost for New Building	\$30,013,796.00

Renovation of Current Building	\$23,362,457.10
--------------------------------	-----------------

Renovation/New Ratio	78%
----------------------	-----

Demolition: 70,490 SF x \$10.00/SF =	\$ 704,900.00
Abatement Approximately	<u>\$ 60,000.00</u>
	\$ 764,900.00
Soft Cost @ 16.29%	<u>\$ 124,602.00</u>
	\$ 889,502.00



**AVON EAST
ELEMENTARY**

AVON SCHOOL DISTRICT

OHIO SCHOOL FACILITIES COMMISSION

CONSTRUCTION DATES:

1964,1970,2003,2004

ACREAGE:

8.63

TOTAL SF:

70,490

GRADES:

KG-2

CURRENT ENROLLMENT:

633

SQUARE FEET PER STUDENT:

109

DATE ISSUED:

MAY, 2023

LEGENDS:



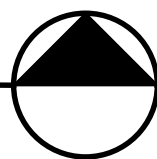
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SHEET NO

1 OF 5

AERIAL SITE PLAN

SCALE: NOT TO SCALE



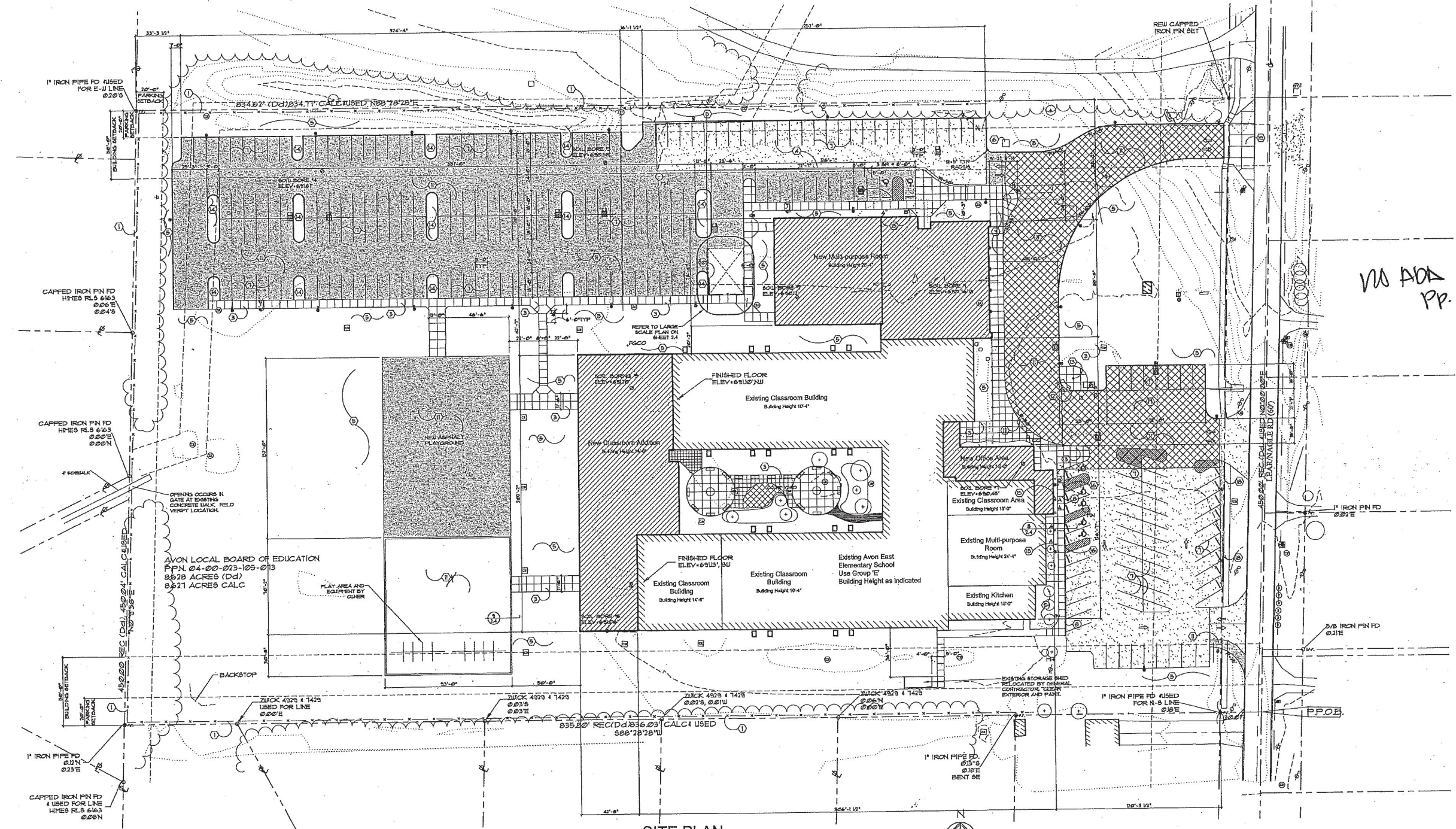
AVON EAST ELEMENTARY SCHOOL
(1964,1970,2003,2004)



CLARK & POST
architects inc.
6125 So. Broadway
Lorain, Ohio 44053

AVON LOCAL SCHOOL DISTRICT
ADDITIONS & ALTERATIONS
TO
AVON EAST ELEMENTARY SCHOOL
3100 NAGEL ROAD
AVON, OHIO 44011

SITE PLAN
DATE: Jan 9, 2014
REV:
SHEET
2.1
OF
PROJ. NO. 0348



NO ADA
PP.

SITE PLAN.

TOTAL AREA OF NEW ADDITION 21,895 SF.
TOTAL AREA OF INTERIOR ALTERATION 4,100 SF.

Site Plan Construction Notes:

- All construction notes indicated this.
- Provide new 4" High vinyl coated chain link perimeter fence, refer to specifications.
- Existing paving to remain. Replace any paving to match damaged by this work. Existing paving to be crack filled, seal coated, and striping as indicated.
- Provide new 4" concrete sidewalks as indicated. All sidewalks not shown and adjacent to existing sidewalks shall match existing sidewalks. Provide 2% slope away from building. Sidewalks shall be set on 4" crushed gravel fill. Slope at sidewalk per foot away from building.
- Patch existing paving area not during demolition. Existing paving not shall be 2" above then required trench. Refer to mechanical and electrical drawings for coordination of cutting and patching.
- All landscaped areas and areas disturbed by this work shall receive 2" straw topsoil and be seeded.
- Electrical transformer and pad. Refer to electrical drawings for coordination.
- 4" painted base. Typical of all striped areas.
- Provide new concrete curb as indicated. New curb to finish flush with existing asphalt paving. Field verify existing conditions. See cut edge of existing asphalt to provide 1/4" high edge.
- Provide new 4" concrete curb along existing sidewalks. Top of curb to finish 4" above existing asphalt surface. Install existing grass area with new asphalt paving. Strip existing grass, and provide new base and paving per section 2.1.4. Refer to sheet 2.1.
- Provide 6" x 6" concrete curb along existing sidewalks. Top of curb to finish 4" above existing asphalt surface. Install existing grass area with new asphalt paving. Strip existing grass, and provide new base and paving per section 2.1.4. Refer to sheet 2.1.
- Provide new asphalt paving and base as indicated. Remove existing grass, asphalt paving and base as required to provide new paving. See paving as indicated.
- Provide handicapped ramp as indicated. Slope shall be 1:12.
- Provide new flag pole. Refer to detail 7.1.4.
- Provide 4" x 6" double washed river stone in all landscaped islands in the parking lot unless otherwise noted.
- Provide new handicapped parking signs as indicated. Refer to detail 10.2.4.
- At handicapped parking areas, slope paving as required to finish flush with new concrete curb. Slope from grades as indicated on grading plan.
- Provide new water meter pit and cover per city of Avon standards. Verify requirements with city prior to submitting bid. Provide as required per detail.
- Provide 6" x 6" concrete curb along existing sidewalks. Top of curb to finish 4" above existing asphalt surface. Install existing grass area with new asphalt paving. Strip existing grass, and provide new base and paving per section 2.1.4. Refer to sheet 2.1.
- Provide new concrete approach per city of Avon requirements. Provide 8" concrete with 6x6 1/4" x 1/4" rebar.
- Provide new soft play area, refer to detail 9.2.4 for construction and perimeter condition.

Summary Table:

Total Acres:	8.628 Ac
Street Area:	126 Ac
Building:	Existing: 93 Ac New: 64 Ac Total: 163 Ac
Building Coverage:	18.89%
Paving:	Existing: 121 Ac New: 1835 Ac Total: 2556 Ac
Pavement Coverage:	29.62%
Open Space:	4.442 Ac

Site Legend:

- SANITARY AS SHOWN
- EX SAN
- NEW SAN
- STORM AS SHOWN
- EX ST
- NEW ST
- PAVEMENT UNDER DRAIN
- EX UT
- NEW UT
- OVERHEAD LINES
- EX OVER
- NEW OVER
- UTILITY LINES
- WAT. OR GAS AS NOTED
- EX W/G
- NEW W/G
- RECE CENTER LINE
- PAVEMENT CENTER LINE
- EX PAV
- NEW PAV
- NEW CONCRETE
- NEW MEDIUM DUTY ASPHALT PAVING
- NEW HEAVY DUTY ASPHALT PAVING
- EXISTING ASPHALT PAVING TO REMAIN
- NEW 4" THICK CONCRETE MALK.
- NEW HANDICAPPED PARKING (NON-VAN ACCESSIBLE)
- NEW HANDICAPPED PARKING (VAN ACCESSIBLE)
- NEW CONCRETE
- NEW MEDIUM DUTY ASPHALT PAVING
- NEW HEAVY DUTY ASPHALT PAVING
- EXISTING ASPHALT PAVING TO REMAIN
- NEW 4" THICK CONCRETE MALK.
- NEW HANDICAPPED PARKING (NON-VAN ACCESSIBLE)
- NEW HANDICAPPED PARKING (VAN ACCESSIBLE)

General Site Notes:

Location of all underground utilities as shown on plans are as obtained from site surveys. It is the responsibility of the individual contractor to field verify all locations prior to commencing work. The contractor shall notify the Authority of any discrepancies, between existing information and actual field conditions, as soon as they are noted.

During construction all existing utilities to remain shall be protected.

All excess subgrade material, gravel and debris shall be removed from the site.

All excess topsoil not used for final grading shall be removed from the site as directed by the architect. If for final grading additional topsoil is required the contractor shall provide.

During all demolition and construction work, the contractor shall provide proper erosion control barriers as required by the governing authorities. Refer to sheet 2.1.

It is the contractor's responsibility to field visit the site and verify all existing conditions prior to submitting a bid.

Refer to landscaping plan on sheet 2.3 for planting bed and lawn areas. Plants under general contractor direction. Seed, fertilization, topsoil, and lawn also under the contract.

EACH CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AT THE JOB.

AVON EAST ELEMENTARY

AVON SCHOOL DISTRICT

OHIO SCHOOL FACILITIES COMMISSION

CONSTRUCTION DATES:

1964,1970,2003,2004

ACREAGE:

8.63

TOTAL SF:

70,490

GRADES:

KG-2

CURRENT ENROLLMENT:

633













SQUARE FEET PER STUDENT:

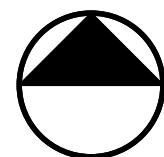
109

DATE ISSUED:

MAY, 2023

LEGENDS:

BUILDING COMPONENT	
	CORRIDORS
	GYMNASIUM
	MEDIA CENTER
	STUDENT DINING
	KITCHEN
	CT PROGRAMS (LOW-BAY)
	CT PROGRAMS (HIGH-BAY)
	AGRICULTURAL EDUCATION LAB
	NON-DESIGN MANUAL
	UNUSABLE
	OVERSIZED
	TUNNELS



FIRST FLOOR PLAN

SCALE: 1/64" = 1'-0"

ADDITION	AUDITORIUM FIXED SEATING	CORRIDORS	AGRICULTURAL EDUCATION LAB	PRIMARY GYMNASIUM	MEDIA CENTER	VOCATIONAL SPACE	STUDENT DINING	KITCHEN	NATATORIUM	INDOOR TRACKS	ADULT EDUCATION	BOARD OFFICES	OUTSIDE AGENCIES	AUXILIARY GYMNASIUM
1. ADDITION (1964)		5,031												
2. ADDITION (1970)		690					3,756	926						
3. ADDITION (2003)		737												
4. ADDITION (2004)		5,301												
TOTAL SF		11,759			1,602		3,756	926						



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SHEET NO
2 OF 5

AVON EAST ELEMENTARY

AVON SCHOOL DISTRICT

OHIO SCHOOL FACILITIES COMMISSION

CONSTRUCTION DATES:

1964,1970,2003,2004

ACREAGE:

8.63

TOTAL SF:

70,490

GRADES:

KG-2

CURRENT ENROLLMENT:

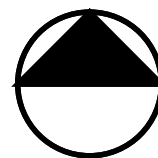
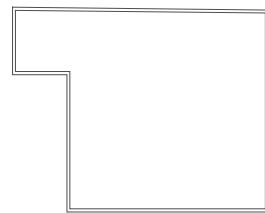
633

SQUARE FEET PER STUDENT:

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DATE ISSUED:

MAY, 2023



MEZZANINE

SCALE: 1/32" = 1'-0"



LEGENDS:

BUILDING COMPONENT

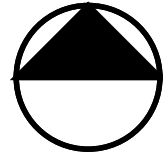
- CORRIDORS
- GYMNASIUM
- MEDIA CENTER
- STUDENT DINING
- KITCHEN
- CT PROGRAMS (LOW-BAY)
- CT PROGRAMS (HIGH-BAY)
- AGRICULTURAL EDUCATION LAB
- NON-DESIGN MANUAL
- UNUSABLE
- OVERSIZED
- TUNNELS

ADDITION	AUDITORIUM FIXED SEATING	CORRIDORS	AGRICULTURAL EDUCATION LAB	PRIMARY GYMNASIUM	MEDIA CENTER	VOCATIONAL SPACE	STUDENT DINING	KITCHEN	NATATORIUM	INDOOR TRACKS	ADULT EDUCATION	BOARD OFFICES	OUTSIDE AGENCIES	AUXILIARY GYMNASIUM
1. ADDITION (1964)		5,031												
2. ADDITION (1970)		690					3,756	926						
3. ADDITION (2003)		737												
4. ADDITION (2004)		5,301												
TOTAL SF		11,759			1602		3756	926						



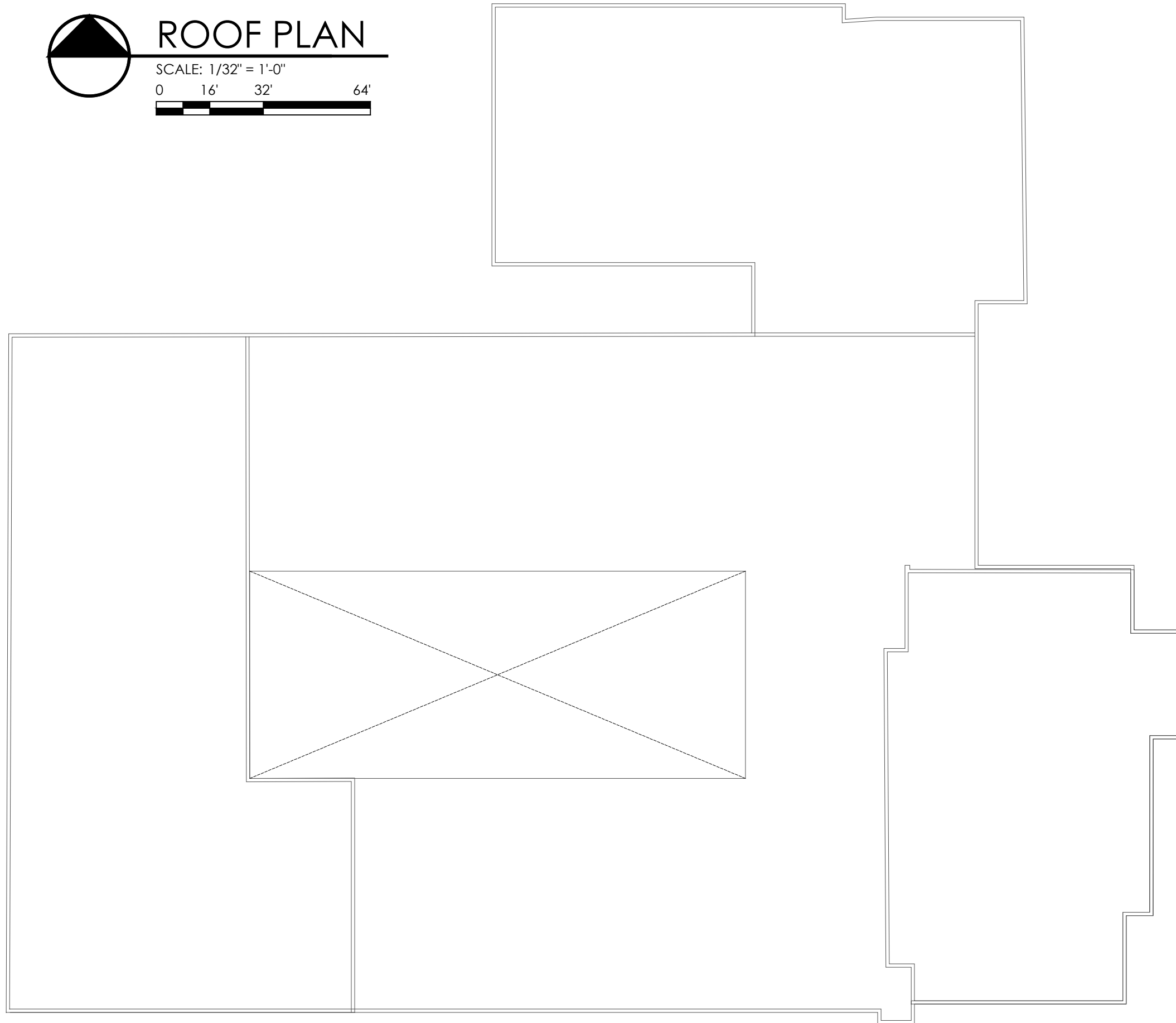
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SHEET NO
3 OF 5



ROOF PLAN

SCALE: 1/32" = 1'-0"



AVON EAST ELEMENTARY

AVON SCHOOL DISTRICT

OHIO SCHOOL FACILITIES COMMISSION

CONSTRUCTION DATES:

1964,1970,2003,2004

ACREAGE:

8.63

TOTAL SF:

70,490

GRADES:

KG-2

CURRENT ENROLLMENT:

633

SQUARE FEET PER STUDENT:

109

DATE ISSUED:

MAY, 2023

LEGENDS:



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SHEET NO

4 OF 5

AVON EAST ELEMENTARY

AVON SCHOOL DISTRICT

OHIO SCHOOL FACILITIES COMMISSION

CONSTRUCTION DATES:

1964,1970,2003,2004

ACREAGE:

8.63

TOTAL SF:

70,490

GRADES:

KG-2

CURRENT ENROLLMENT:

633

SQUARE FEET PER STUDENT:





109

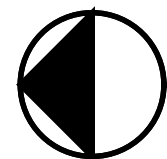
DATE ISSUED:

MAY, 2023

LEGENDS:

CONSTRUCTION DATES

-  1. ADDITION (1964)
-  2. ADDITION (1970)
-  3. ADDITION (2003)
-  4. ADDITION (2004)



ADDITION PLAN

SCALE: 1/64" = 1'-0"

0 32' 64' 128'



SHEET NO

5 OF 5

Avon Local Schools

FACILITY ASSESSMENT REPORT

Building Assessment

Heritage Elementary Grades 3-5



General Description



Heritage Elementary School, which is not on the National Register of Historic Buildings, and originally constructed in 2001, with additions in 2004 and 2006, is a single story, 148,281 square foot brick school building located in a suburban residential setting. The existing facility features a conventionally partitioned design, and does not utilize modular buildings. The building currently serves Grades 3 – 5.

The structure of the overall facility contains brick masonry units type exterior wall construction, masonry block type wall construction in the interior. The floor system consists of slab on grade. The roof structure is metal deck on steel joists. The roofing system of the overall facility is a combination of single-ply EPDM fully adhered membrane roof and asphalt shingles over sloped areas. All shingles in sloped areas were replaced in 2022, and the low slope areas of EPDM are to be replaced Summer of 2023. The ventilation system of the building is inadequate to meet the needs of the users.

The classrooms are adequately sized in terms of the current standards established by the State of Ohio. Physical Education and Student Dining spaces consist of Gymnasium, separate Student Dining, and stage. The electrical system for the facility is adequate. The facility is equipped with a security system. The building has a compliant automatic fire alarm system. The facility is equipped with an automated fire suppression system. The building does not contain asbestos. The overall building is compliant with ADA accessibility requirements.

The school is located on a 31.07-acre site adjacent to residential properties. The property playgrounds are partially fenced for security. Access onto the site is unrestricted. Site circulation is fair. There is a dedicated space for school buses to load and unload on the site. Parking for staff, visitors and community events is adequate.

ITEM A: HEATING SYSTEM

Description

The entire facility was constructed in 2001 and split into a North half and South half. The North has 5 RBI boilers (1.5 million BTU) that are 22 years old and in poor shape. The South half has 3 Aerco boilers that although they appear to be in fair shape, the school personnel has not indicated any operational issues. Due to the age of these boilers, they are still approaching the end of their useful life. The boilers from both halves of the building provide heating hot water to cabinet unit heaters, unit heaters, convectors, air handling units, VAV for reheating coils and other miscellaneous type heating devices. All the classroom wings are served from air handling units that also have chilled water providing air conditioning throughout the facility. The classrooms utilize a plenum return system that does not utilize louvered doors or transfer grilles for relief air venting. The school district had noted in our walkthrough locations where the acoustical ceiling tile is curled up which may indicate the transfer grilles to the ceiling plenum aren't large enough. A review of the existing drawings along with totaling up the airflows can determine if the transfer grilles are adequately sized and located. The system does appear to provide proper amounts of ventilation air. There is no central energy recovery system. There are separate controls for each space. The temperature controls are electronic and appear to be adequate for their intended use.



Recommendations

Remove/Replace both boiler systems. 5 boilers in the North half and 3 boilers in the South half. Correct return air back to air handling units.

Cost

A.	Remove/Replace Gas-Fired Heating Boilers	\$40,000.00 x	8	units	\$	320,000.00
	Correct return air, transfer air back to AHU's	\$1.00 x	148,281	SF	\$	148,281.00
					\$	468,281.00

ITEM B: ROOFING

Description

The roof over the overall facility is a combination of EPDM and asphalt shingle system. The asphalt shingle roofing was replaced in 2022, and is in good condition. The EPDM roofing is in process of being replaced in summer of 2023. There are no District reports of current leaking. No signs of past leaking were observed during the physical assessment. Access to the roof was gained by access ladder that is in fair condition. Fall safety protection cages are not required and not provided.

There were no observations of standing water on the roof. Gutters and downspouts are in good condition. Metal coping will be replaced with EPDM roof replacement this summer of 2023. Roof storm drainage is addressed through a system of roof drains, which are properly located, and in fair condition. The roof is equipped with overflow roof drains.

No problems requiring attention were encountered with any roof penetrations.

There are not any covered walkways attached to this structure.

Recommendations

The roof over the overall facility meets Ohio School Design Manual guidelines and no work is required at this time.

Cost

B. No Work required

ITEM C: AIR CONDITIONING

Description

The entire facility has air conditioning from a central system consisting of air-cooled outdoor chillers. Air handling units along with VAV boxes serve each classroom and space within the facility. These units appear to be in good shape and provide each space with proper amounts of ventilation air while having complete temperature control of each space.

General toilet exhaust is present and adequate in all group restrooms, janitors' closets and storage rooms.

The science rooms and art rooms do not have any requirement for additional exhaust with the grade configuration and the usage requirements of the space.



Recommendations

No upgrades are recommended currently.

Cost

C. No Work required

ITEM D: ELECTRICAL

Description

The electrical system provided to the North half of the building is a 480-volt, 2000 amp, 3 phase, 4 wire system installed in 2001, and is in good condition. The system in the South half of the building is a 480-volt, 2000 amp, 3 phase, 4 wire system installed in 2004, and is in good condition.

Power is provided to the school by two utility owned, pad-mounted transformers located outside, and in good condition. The panel system in the North half of the building, installed in 2001, is in good condition, and can be expanded to add additional capacity. The panel system in the South half of the building, installed in 2004, is in good condition, and can be expanded to add additional capacity.

The Classrooms in the overall facility are equipped with adequate electrical outlets. The typical Classroom contains 11 general purpose outlets and 1 dedicated outlet for each Classroom television. Some Classrooms are equipped with as many as 12 general purpose outlets, while others are equipped with as few as 10 general purpose outlets. There are not any spaces that have no electrical outlets.

The Corridors are equipped with adequate electrical outlets for servicing. Adequate GFI protected exterior outlets are provided around the perimeter of the building. The facility is not equipped with an emergency generator. Adequate lightning protection safeguards are not provided.

Stage lighting power system including control panel, breakers, and dimmers is adequately provided, in good condition, and does meet OSDM requirements.

The overall electrical system meets Ohio School Design Manual requirements in supporting the current needs of the school and will be adequate to meet the facility's future needs.

Recommendations

Provide adequate lightning protection safeguards.

Cost

D.	Lighting Protection	\$0.72 x 148,281 SF	\$	106,762.32
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ITEM E: PLUMBING

Description

There are 2 incoming water services for our facility. Both halves of the building have a 4" incoming line with the required backflow preventer. No issues have been reported in our walkthrough with sanitary drainage, water pressure or water flow to fixtures. The facility utilizes 6 10-gallon electric water heaters (one at each set of group restrooms), 1 30-gallon electric water heater and 2 Lochinvar gas-fired domestic water heaters and a 200-gallon (estimated) storage tank.

The 10-gallon electric water heaters, along with the 30-gallon heater appear to be 7-10 years old and although they are operating adequately, they are approaching the end of their useful life. The gas-fired domestic water boiler is original to the construction and is in poor shape and should be replaced.

The total facility has 6 group restrooms for girls and 6 group restrooms for boys, 2 special education restrooms, 2 clinic restrooms, 2 kitchen restrooms and 4 additional staff restrooms. There are 43 wall-hung water closets with automatic flush valves, 15 wall-hung urinals with automatic flush valves and 29 wall-hung lavatories with manual faucets. In addition, there are 10 electric water coolers (2 have the newer bottle fillers, and 8 are in poor shape and should be replaced). There are 60 classrooms that all have sinks with sink mounted drinking fountains. There are 3 science classrooms that each have emergency eye wash/shower combinations but do not have acid waste pipe or neutralization tanks. With the grade configuration and the experiments that occur, acid pipe is not required for this school. These fixtures should be replaced with new low flow fixtures.

The district has requested the 6 classrooms be turned into PK-K classrooms, each with a wall-hung water closet and wall hung lavatory. In addition, the girls group restroom will be converted to have the child-size fixtures instead of full-size (3 water closets and 2 lavatories).



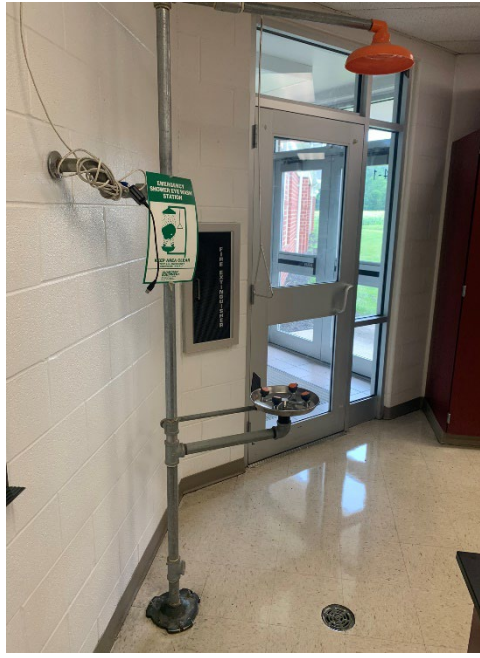
Gas fired domestic water heater and storage tank.



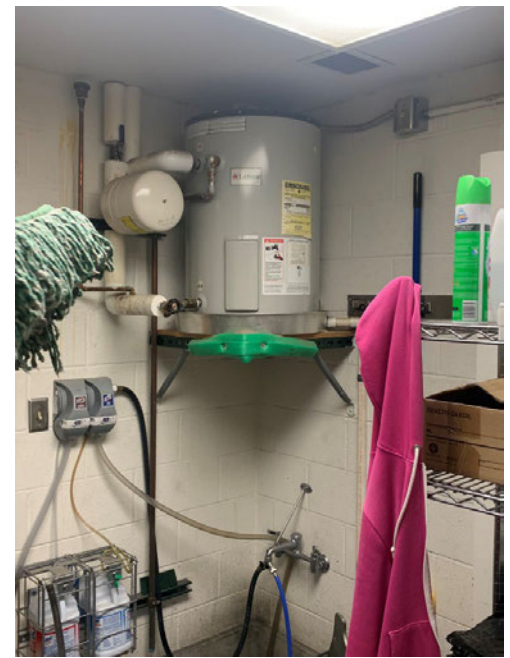
Classroom sink w/drinking fountain



Classroom sink w/drinking fountain



Eyewash



10 Gallon electric water heater

Recommendations

Remove/Replace 7 electric water heaters.

Remove/Replace 1 gas-fired domestic water boiler.

Remove/Replace 43 water closets.

Remove/Replace 15 urinals.

Remove/Replace 29 lavatories.

Remove/Replace 8 electric water coolers (with bottle filler options).

The following are items the district would like completed for the Pre-K, K classrooms:

Add 6 kid-size water closets with automatic flush valves.

Add 6 kid-size wall-hung lavatories with automatic faucets.

Remove/Replace 3 water closets (full-size) with kid-size water closets.

Remove/Replace 2 full-size lavatories with kid-size lavatories.

Cost

E.	Replace Domestic Water Heater	\$12,000.00 x 8	units	\$	96,000.00
	Remove/Replace Domestic Water Boiler	\$12,000.00 x 1	units	\$	12,000.00
	Add water closets (Kid-sized)	\$4,597.08 x 6	units	\$	27,582.48
	Add lavatories (Kid-sized)	\$3,024.39 x 6	units	\$	18,146.34
	Remove/Replace water closets (Kid-sized)	\$4,597.08 x 3	units	\$	13,791.24
	Remove/Replace lavatories (Kid-size)	\$4,597.08 x 2	units	\$	9,194.16
	Remove/Replace water closets	\$4,597.08 x 43	units	\$	197,674.44
	Remove/replace Urinals	\$4,597.08 x 15	units	\$	68,956.20
	Remove/Replace lavatories	\$4,597.08 x 29	units	\$	133,315.32
	Remove/replace EWC w/bottle fillers	\$3,629.27 x 8	units	\$	29,034.16
				\$	605,694.34

ITEM F: WINDOWS

Description

The overall facility is equipped with wood windows and aluminum cladding, which are original to the building installed in 2001, 2004, and 2006. The existing window system is combination of casement and double hung sashes. The windows have insulated glass with integral blinds and non-thermally separated wood framing. According to district personnel the windows are unable to close and do not lock. Window system hardware is in fair condition. This facility is not equipped with any curtain wall systems. This facility does not feature any glass block windows.



The exterior doors in the overall facility are equipped with aluminum frame sidelights and transoms with double glazed insulated glazing, in fair condition. Exterior door vision panels are double glazed insulated glazing

The school does not contain skylights. The school does contain clerestory windows. Interior glass is OSDM-compliant. Window security grilles are not provided for ground floor windows. There is not a Greenhouse associated with this school.



Recommendations

Provide a new insulated thermally broken window system with integral blinds to meet with Ohio School Design Manual requirements.

Cost

F. Window Replacement

\$122.85 x 7,315 SF

\$ 898,647.75

ITEM G: STRUCTURE – FOUNDATION

Description

The overall facility is equipped with concrete masonry unit foundation walls on concrete footings, which displayed no locations of significant differential settlement, cracking, or leaking, and are in fair condition. No significant issues related to foundation cracking or spalling were encountered. The District reports that there has been no past leaking. No grading or site drainage deficiencies were noted around the perimeter of the structure that are contributing or could contribute to foundation / wall structural deterioration.

Recommendations

Existing conditions require no renovation or replacement at the present time.

Cost

G. No Work required

ITEM H: STRUCTURE (WALLS AND CHIMNEYS)

Description

The overall facility has a brick veneer on load bearing masonry wall system which displayed minimal deterioration, and is in fair condition. The exterior masonry appears to have appropriately spaced and adequately caulked control joints in fair condition. Control joints are provided at lintel locations, at doors and windows, building corners, and wall offsets. The school does have sufficient expansion joints, and they are in fair condition.

Brick veneer masonry walls are cavity walls with insulation and concrete masonry unit as back-up.

Weep holes and vents are provided. Weep holes are not rope type weeps.

The exterior masonry has not yet been cleaned and sealed, showing evidence of mortar deterioration and brick cracking at window locations which needs to be addressed. Architectural exterior accent materials consist of EIFS, which is in fair condition.

Interior walls are concrete masonry units / metal stud with gypsum board. No operable walls were observed. Interior masonry appears to have adequately spaced and caulked control joints in good condition. Interior soffits are of gypsum board type construction, and in fair condition.

The window sills exterior is brick, and in the interior are plastic laminate in fair condition. The exterior lintels are precast steel, and are in fair condition.

There are no chimneys observed. Exterior soffits are of metal panel type construction, and in fair condition.

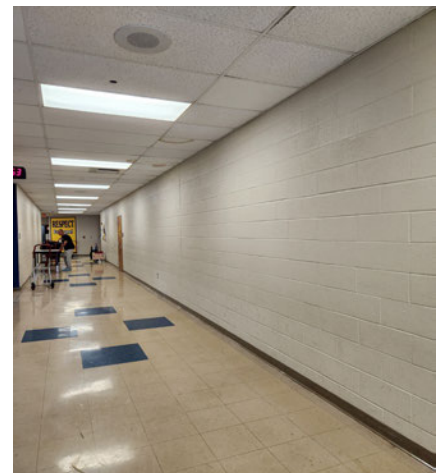
The school is not equipped with a loading dock.



Weep Holes



Exterior walls and downspout



Hallway

Recommendations

Provide tuckpointing in all areas of mortar deterioration as required through the overall facility. Provide masonry cleaning, sealing, and caulking as required through the overall facility. Prep and paint exposed steel lintels through the overall facility.

Cost

H.	Tuckpointing	\$9.08 x 100	SF	\$ 908.00
	Cleaning	\$1.82 x 33,825	SF	\$ 61,561.50
	Sealing	\$1.21 x 33,825	SF	\$ 40,928.25
	Replace Lintel	\$10.00 x 200	LF	\$ 2,000.00
	Reslope Sills at Library	Allowance		\$ 75,000.00
				<hr/>
				\$ 180,397.75

ITEM I: STRUCTURE (FLOORS & ROOFS)

Description

The floor construction of the base floor of the overall facility concrete slab on grade type construction, and is in fair condition. There is no crawl space.

There are no intermediate floors in this single-story structure.

Ceiling to structural deck spaces is sufficient to accommodate HVAC, electrical, and plumbing scopes of work in required renovations.

The roof construction of the overall facility is a combination of single-ply EPDM fully adhered membrane roof and asphalt shingles over sloped areas type construction, and is in good condition.

Recommendations

Existing conditions require no recommendations.

Cost

- I. No Work required

ITEM J: GENERAL FINISHES

Description

The overall facility features conventionally partitioned Classrooms with vinyl asbestos tile (VAT) or vinyl coated tile (VAT) type flooring, acoustical ceiling tile (ACT) type ceilings, as well as CMU type wall finishes, and they are in fair condition. The overall facility has Corridors with VAT type flooring, ACT type ceilings, as well as CMU type wall finishes, and they are in fair condition. The overall facility has Restrooms with porcelain tile type flooring, (drywall?) type ceilings, as well as ceramic tile type wall finishes, and they are in fair condition but dated. Toilet partitions are composite and plastic, and are in fair condition.



Classroom casework in the overall facility is composite type construction with plastic laminate tops, is adequately provided, and in fair condition. The typical Classroom contains 15 lineal feet of casework, and Classroom casework provided ranges from 10 to 20 feet. Classrooms are provided adequate markerboards and tackboards which are in fair condition. The lockers, located in the Corridors, are adequately provided, and in fair condition. The Art program is equipped with a kiln in good condition, and existing kiln ventilation is adequate.



The facility is equipped with wood non-louvered interior doors that are flush mounted recessed with proper ADA hardware and clearances, and in fair condition.

The Gymnasium spaces have wood type flooring, exposed metal deck type ceilings, as well as CMU type wall finishes, and they are in fair condition. Wood Gymnasium flooring has been well maintained, will accommodate minimal future sandings and refinishing, and is rated at an early stage of its product lifecycle. Gymnasium telescoping plastic type construction in fair condition. Gymnasium basketball backboards are electrically operated type, and are in fair condition. The Media Center, located in the original and 2004 addition, have carpet type flooring, ACT type ceilings, as well as CMU type wall finishes, and they are in fair condition. Student Dining, located in the original and 2004 addition, has VCT type flooring, exposed metal deck type ceilings, as well as CMU type wall finishes, and they are in fair condition. OSDM-required fixed equipment for Stage is adequately provided, and in fair condition. Existing Gymnasium, Student Dining, Media Center, Instrument and Vocal spaces are adequately provided with appropriate sound attenuation acoustical surface treatments.

The existing Kitchen is full service, is adequately sized based on current enrollment, and the existing Kitchen equipment, installed in 2004, is in good condition. The Kitchen hood is in

good condition, and is equipped with the required UL 300 compliant wet chemical fire suppression system. The required 6" overhang on all three exposed sides of the cooking equipment is not provided by the hood. Kitchen hood exhaust ductwork is of proper construction and installed as required by the OSDM and OBCMC. Walk-in cooler and freezer are located within the Kitchen spaces, and are in good condition.

Recommendations

Provide for the replacement of finishes (without casework) required due to typical wear and work in Items L, N, and T.

Funding for replacement of interior doors is provided in Item O, including doors here noted as being in poor condition. New Gym curtain required. Some casework shows deterioration, needs new casework. Library to convert to Maker Space.

Cost

J.	Replacement of Finishes (excluding casework) (Paint, ceilings, flooring)	\$23.61	x	148,281 SF	\$	3,500,914.41
	Gym Curtain			Lump Sum	\$	100,000.00
	Partial Casework Replacement due to age, 25%	\$10.29	x	37,070.25 SF	\$	381,453.00
	Allowance for Board office moving & renovations			Allowance	\$	250,000.00
	Cost for remodeling of library to maintain lab (Floor/lighting/power)			Allowance	\$	150,000.00
	Allowance for KDG restroom, Demo & Renovation			Allowance	\$	<u>500,000.00</u>
					\$	4,882,367.41

ITEM K: INTERIOR LIGHTING

Description

The typical Classrooms in the overall facility are equipped with T-8 2x4 lay-in fluorescent fixtures with dual level switching. Classroom fixtures are in good condition, providing an average illumination of 34 FC, which is less than the 50 FC recommended by the OSDM.

The typical Corridors in the overall facility are equipped with T-8 2x4 lay-in fluorescent fixtures with dual level switching. Corridor fixtures are in good condition, providing an average illumination of 15 FC, which is less than the 20 FC recommended by the OSDM.

The Gymnasium spaces for both halves of the building are equipped with T-8 suspended fluorescent type lighting in good condition, providing an average illumination of 25 FC, which is less than the 30 FC recommended by the OSDM.

The Media Center is equipped with T-8 suspended fluorescent type lighting providing direct and indirect distribution, providing an average illumination of 41 FC, which is less than the 50 FC recommended by the OSDM.

The Student Dining spaces are equipped with T-8 suspended fluorescent type lighting providing direct and indirect distribution with multi-level switching. Student Dining fixtures are in good condition, providing an average illumination of 12 FC, which is less than the 50 FC recommended by the OSDM.

The Kitchen spaces are equipped with 2x4 lay-in T-8 fluorescent fixture type lighting with multi-level switching. Kitchen fixtures are in good condition, providing an average illumination of 70 FC, which is less than the 75-80 FC recommended by the OSDM.

The Service Areas in the overall facility are equipped with suspended T-8 fluorescent fixture type lighting in good condition.

The typical Administrative spaces in the overall facility are equipped with 2x4 parabolic lay-in T-8 fluorescent fixture type lighting in good condition, providing adequate illumination based on OSDM requirements.

The overall lighting systems of the facility are not fully compliant with Ohio School Design Manual requirements due to inadequate lighting levels.

Recommendations

Provide replacement of lighting system in all areas except the Kitchen and Administrative spaces to increase lighting levels, with LED fixtures.

Cost

K.	Partial Lighting Replacement (Includes demo of existing fixtures)	\$7.62 x 138,279	SF	\$ 1,053,685.98
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ITEM L: SECURITY SYSTEM

Description

The overall facility contains a camera and voice intercom system at the main doors, door access controls, door contacts, and CCTV cameras. Motion detectors are not adequately provided in main entries, central gathering areas, offices, main Corridors, and spaces where 6 or more computers are located. Exterior doors are equipped with door contacts. An automatic visitor control system is not provided. Compliant color CCTV cameras are provided at main entry areas and main corridors.

There are no playground fencing issues requiring attention.

The exterior site lighting system is equipped with surface mounted metal halide entry lights in fair condition. Parking and bus pick-up / drop off areas are illuminated by pole mounted HID metal halide fixtures in fair condition. The exterior site lighting system provides adequate illumination.

Recommendations

Provide complete replacement of security system to meet Ohio School design Manual guidelines.

Cost

L.	Security System	\$3.45 x 148,281	SF	\$	511,569.45
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ITEM M: EMERGENCY / EGRESS LIGHTING

Description

The overall facility is equipped with an emergency egress lighting system consisting of red lettered plastic construction exit signs, and the system is in good condition. The facility is equipped with emergency egress floodlighting in the Gymnasium areas and recessed fluorescent lighting used as emergency egress lighting in the corridors, and the system is in good condition. The system is adequately provided throughout and meets Ohio School Design Manual and Ohio Building Code requirements.

Recommendations

Existing conditions require no renovation or replacement at the present time.

Cost

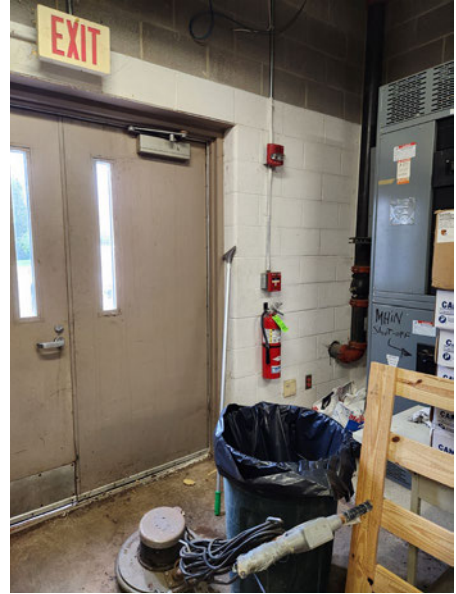
M. No Work required

ITEM N: FIRE ALARM

Description

The North building is equipped with a Simplex fire alarm system installed in 2001, and in good condition, consisting of manual pull stations, horn and strobe indicating devices, tamper and flow switches, and smoke detectors. The system is automatic and is monitored by a third party. The system is equipped with sufficient audible horns / strobe indicating devices, flow switches, tamper switches, and smoke detectors. The system thus supports existing fire suppression systems. The system is compliant with the Ohio Building Code, NFPA, and Ohio School Design Manual requirements.

The Connector building is equipped with a Honeywell fire alarm system installed in 2006, and in good condition.



Type 1 Kitchen Hood

Recommendations

Provide complete replacement of fire alarm system due to age of systems and compatibility problems between the different systems.

Cost

N.	Complete replacement of systems Includes removal of old system	\$3.63 x 148,281	SF	\$	538,260.03
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ITEM O: HANDICAP ACCESS

Description

At the site, there is an accessible route provided from the public right-of-way, the accessible parking areas, and from the passenger unloading zone to the main entrance of the school. There is an accessible route connecting all or most areas of the site. The exterior entrances are ADA accessible. Access from the parking / drop-off area to the building entries is not compromised by steps or steep ramps. Adequate handicap parking is provided. Exterior doors are equipped with ADA hardware. Building entrances should be equipped with 2 ADA power assist doors none are provided. Playground layout and equipment are mostly compliant, the mulch is not compliant and will need to be replaced by a soft poured surface.

On the interior of the building, space allowances and reach ranges are compliant. There is an accessible route through the building which does include protruding objects. Ground and floor surfaces are compliant. Access to the stage is facilitated by a lift and is in fair condition.

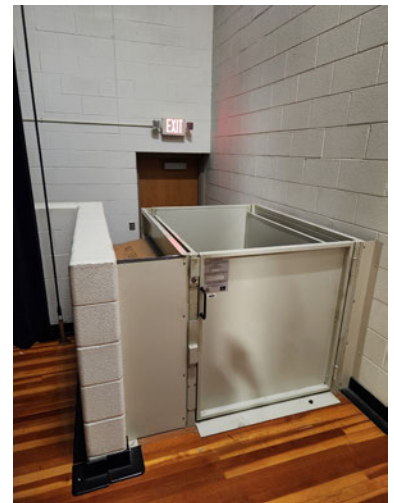
Special provisions for floor level changes in this single-story structure are not required. Access to the Stage is facilitated by a chair lift and is in good condition.

Interior doors are recessed, are provided adequate clearances, and are provided with ADA-compliant hardware. Some doors are old, need replacement.

ADA-compliant toilets are currently provided. ADA-compliant Restroom lavatories are currently provided. Building to be converted to a PK-K, and 1 - 2 grade level(s) building. 6 ADA-compliant urinals are required, and they are currently provided. 2 ADA-compliant showers are required, which are currently provided. 10 ADA-compliant electric water coolers are required, 2 are provided and 8 are needing replacement. Toilet partitions are plastic laminate, and do provide appropriate ADA clearances but need to be replaced due to age. ADA-compliant accessories are adequately provided and mounted. Mirrors do meet ADA requirements for mounting heights.

Science Classrooms are not compliant with ADA requirements due to sinks not being mounted at correct height.

Health Clinic and Special Education Restrooms are compliant with ADA requirements.



ADA signage is provided on the interior of the building.

Recommendations

ADA door assist is needed. Playground soft poured surface required with drainage. See it in (Item P.)

Water coolers provided in Item E (Plumbing).

New toilet partitions required.

New toilet accessories required.

New signage required.

Partial new doors required due to age and condition.

Cost

O.	ADA Power Assist (2)	\$9,073.15	x 2	ea.	\$	18,146.30
	Door Replacement (50)	\$1,572.68	x 50	ea.	\$	78,634.00
	Toilet Partition (42)	\$1,750.00	x 42	ea.	\$	73,500.00
	Toilet Accessories (8 Restrooms)	\$1,209.76	x 8	a.	\$	9,678.08
	New Signage	\$0.24	x 148,281	SF	\$	<u>35,587.44</u>
					\$	215,545.82

ITEM P: SITE CONDITION

Description

The 31.07-acre flat site is located in a Suburban setting with generous tree and shrub type landscaping. There are no outbuildings. There are no apparent problems with erosion or ponding.

The site is bordered by moderately traveled city streets. Multiple entrances onto the site facilitate proper separation of bus and other vehicular traffic, and one way bus traffic is provided. There is a curbside bus loading and unloading zone in front of the school, which is separated from other vehicular traffic.

Staff and visitor parking is facilitated by a multiple asphalt parking lots in poor condition, containing 409 parking places, which provides adequate parking for staff members, visitors, and the disabled. The site and parking lot drainage design, consisting of sheet drainage, catch basins, and storm sewers, provides adequate evacuation of storm water, and no problems with parking lot ponding were observed.

Concrete curbs in fair to poor condition are appropriately placed. Concrete sidewalks are properly sloped, are located to provide a logical flow of pedestrian traffic, and are in fair to poor condition. Trash pick-up and service drive pavement is not heavy duty and is in fair to poor condition, and is equipped with a concrete pad area for dumpsters, which is in fair to poor condition.

The playground equipment is primarily constructed of metal and high-density plastic, and is in fair condition. Playground equipment is placed to provide compliant fall zones, and on a non-compliant wood fiber mulch of insufficient depth. The hard surface play area is an asphalt surface with a basketball court. The playground area is equipped with minimal tables in fair condition.

Site features are suitable for outdoor instruction which is enhanced through the District's provision of raised garden beds in the site's interior on a concrete open courtyard.



Recommendations

Provide for the resurfacing of all asphalt on the site due to condition. Provide for the replacement of concrete sidewalks and curbs as required. Provide for the replacement of the concrete dumpster pad due to condition. Provide for the replacement of playground equipment due to age. Provide for the replacement of playground soft-surface due to non-compliance. Provide for the replacement of fence gate due to damage.

Cost

P.	Replacement of Concrete Curbs	\$38.72 x 30	LF	\$	1,161.60
	Replacement of Concrete Sidewalks	\$9.08 x 150	SF	\$	1,362.00
	Full Depth Replacement of Asphalt Parking/Drives	\$33.63 x 35,633	SY	\$	1,198,337.79
	Replacement of Playgrounds (adjust for age group)	Lump Sum		\$	142,000.00
	Removal of Existing Playgrounds	Lump Sum		\$	2,419.51
	Playground Soft Surface	\$36.29 x 2,656	SY	\$	96,386.24
	Replacement of Hard Surface	\$40.00 x 3,907	SY	\$	156,280.00
	Replacement of Concrete Dumpster Pad	\$2,903.42 x 1	ea.	\$	2,903.42
	Site Allowance	Lump Sum		\$	150,000.00
				\$	1,750,850.56

ITEM Q: SEWER SYSTEM

Description

The existing system is tied into the municipal system. Based on our walkthrough, school personnel stated no issues were present.

Recommendations

No work is needed currently.

Cost

Q. No Work required

ITEM R: WATER SUPPLY

Description

The existing system is tied into the municipal system. Based on our walkthrough, school personnel stated that no issues are present at this time. The existing main service line is sized for the present sprinkler system within both portions of the facility.

Recommendations

No work is needed currently.

Cost

R. No Work required

ITEM S: EXTERIOR DOORS

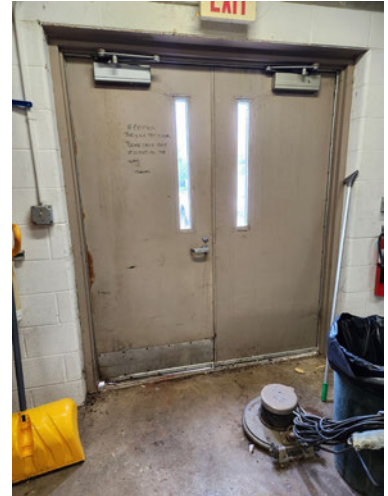
Description

Typical exterior doors in the overall facility are aluminum type construction, installed on aluminum frames, and in fair condition. Typical exterior doors feature insulated vision panels, and appropriate hardware.

Entrance doors in the overall facility are aluminum type construction, installed on aluminum frames, and in fair condition. Entrance doors feature insulated vision panels, transoms, sidelights, and appropriate hardware.

Roof access was not assessed due to the current roof work ongoing.

There are no overhead doors in the facility.



Recommendations

Replace exterior man doors due to condition.

Cost

S. Exterior Door Replacement	\$3,024.39 x 24 ea.	\$ 72,585.36
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ITEM T: HAZARDOUS MATERIALS

Description

This building was built in 2001 with additions in 2004 and 2006. It is our understanding that there is no asbestos and other hazardous materials in the building.

Recommendations

No work required.

Cost

T. No work required.

ITEM U: LIFE SAFETY

Description

The entire facility has a fire protection system. There are 2 fire mains and sprinkler risers. One for the North wing and one for the South wing.

There are 2 cooking kitchens in this school. Both have Type I hoods that are correctly sized and that have all of the required panels and shut offs.



Recommendations

Provide emergency generator.

Cost

U. Generator

Lump sum

\$ 163,110.00

ITEM V: LOOSE FURNISHINGS

Description

The typical Classroom furniture is of consistent design, and in generally fair condition, consisting of student desks & chairs / teacher desks & chairs, desk height file cabinets, reading tables, computer workstations, bookcases, wastebaskets, etc. The facility's furniture and loose equipment were evaluated, and on a scale of 1 to 10 the overall facility received a rating of 6 due to observed conditions, and due to the fact that it lacks some of the Design Manual required elements.



Recommendations

Provide for replacement of outdated or inadequate furnishings.



Cost

V. Replacement of Furnishings (general)	\$7.15 x 29,621	SF	\$ 211,790.15
Replacement of Furnishings for New Grade Levels	\$10.00 x 148,281	SF	\$ 1,482,810.00
			\$ 1,694,600.15

ITEM W: TECHNOLOGY

Description

The typical Classroom is equipped with eight technology data ports for student use / one data port for teacher use / one voice port with a digitally based phone system / one cable port and monitor / and a 2-way PS system (a function of the telephone system) that can be initiated by either party to meet Ohio School Design Manual requirements.



The facility is equipped with a centralized clock system. Specialized electrical / sound system requirements of the stage are adequately provided, and in good condition. OSDM-compliant computer network infrastructure is provided. The facility does contain a media distribution center, and does not provide Computer Labs for use by students.

Recommendations

Provide complete replacement of technology systems to meet Ohio School design Manual requirements, and to sustain the capacity to keep pace with technological development.

Cost

W.	Technology System Replacement	\$15.75 x 148,281	SF	\$ 2,335,425.75
----	-------------------------------	-------------------	----	-----------------

Summary – Heritage

Facility Assessment	Cost
A. Heating System	\$ 468,281.00
B. Roofing	\$ -
C. Ventilation/Air Conditioning	\$ -
D. Electrical Systems	\$ 106,762.32
E. Plumbing and Fixtures	\$ 605,694.34
F. Windows	\$ 898,647.75
G. Structure: Foundation	\$ -
H. Structure: Walls and Chimney	\$ 180,397.75
I. Structure: Floors and Roofs	\$ -
J. General Finishes	\$ 4,882,367.41
K. Interior Lighting	\$ 1,053,685.98
L. Security Systems	\$ 511,569.45
M. Emergency/Egress Lighting	\$ -
N. Fire Alarm	\$ 538,260.03
O. Handicapped Access	\$ 215,545.82
P. Site Condition	\$ 1,750,850.56
Q. Sewage System	\$ -
R. Water Supply	\$ -
S. Exterior Doors	\$ 72,585.36
T. Hazardous Materials	\$ -
U. Life Safety	\$ 163,110.00
V. Loose Furnishings	\$ 1,694,600.15
W. Technology	<u>\$ 2,335,425.75</u>
Subtotal:	\$15,477,783.67
X. Non-Construction Cost	<u>\$ 8,466,824.63</u>

TOTAL **\$23,944,608.30**

X. Non-Construction Cost		
Subtotal	\$	15,477,783.67
10% Design Contingency	\$	1,547,778.37
Subtotal	\$	16,995,562.04
10% Construction Contingency		\$1,699,556.20
Subtotal	\$	18,695,118.24
10% Material Escalation Contingency for '24/'25		\$1,869,511.82
Subtotal		\$20,564,630.06
*16.29% Non-Construction Costs		\$3,349,978.24
Total Contingency Amount		\$8,466,824.63

*Land Survey, Soil Borings/Phase 1 Environmental Report, Agency Approval Fees (Bldg. Code), Construction Testing, Printing-Bid Documents, Advertising for Bids, Builders Risk Insurance, Bond Fees, Design Professionals Compensation, CM Compensation, Commissioning and Maintenance Plan Advisor, Non-Construction Contingency.

Heritage Additional Costs

Existing 148,281 SF x \$364.32/SF =	\$54,021,734.00
Escalation '24/'25 @ 10%	<u>\$ 5,402,173.00</u>
Total Cost for New Building	\$59,423,907.00
Renovation of Current Building	\$23,944,608.30
Renovation/New Ratio	40%



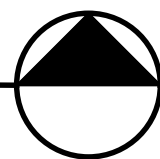
Heritage Elementary School

Heritage Elementary School

HERITAGE ELEMENTARY SCHOOL
(2001,2004,2006)

AERIAL SITE PLAN

SCALE: NOT TO SCALE



HERITAGE ELEMENTARY

AVON SCHOOL DISTRICT

OHIO SCHOOL FACILITIES COMMISSION

CONSTRUCTION DATES:

2001,2004,2006

ACREAGE:

31.7

TOTAL SF:

148,281

GRADES:

3rd-5Th

CURRENT ENROLLMENT:

966

SQUARE FEET PER STUDENT:

153

DATE ISSUED:

JULY, 2023

LEGENDS:



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SHEET NO

1 OF 8

GENERAL NOTES:

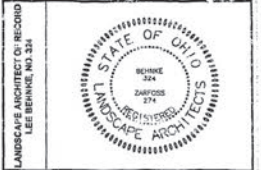
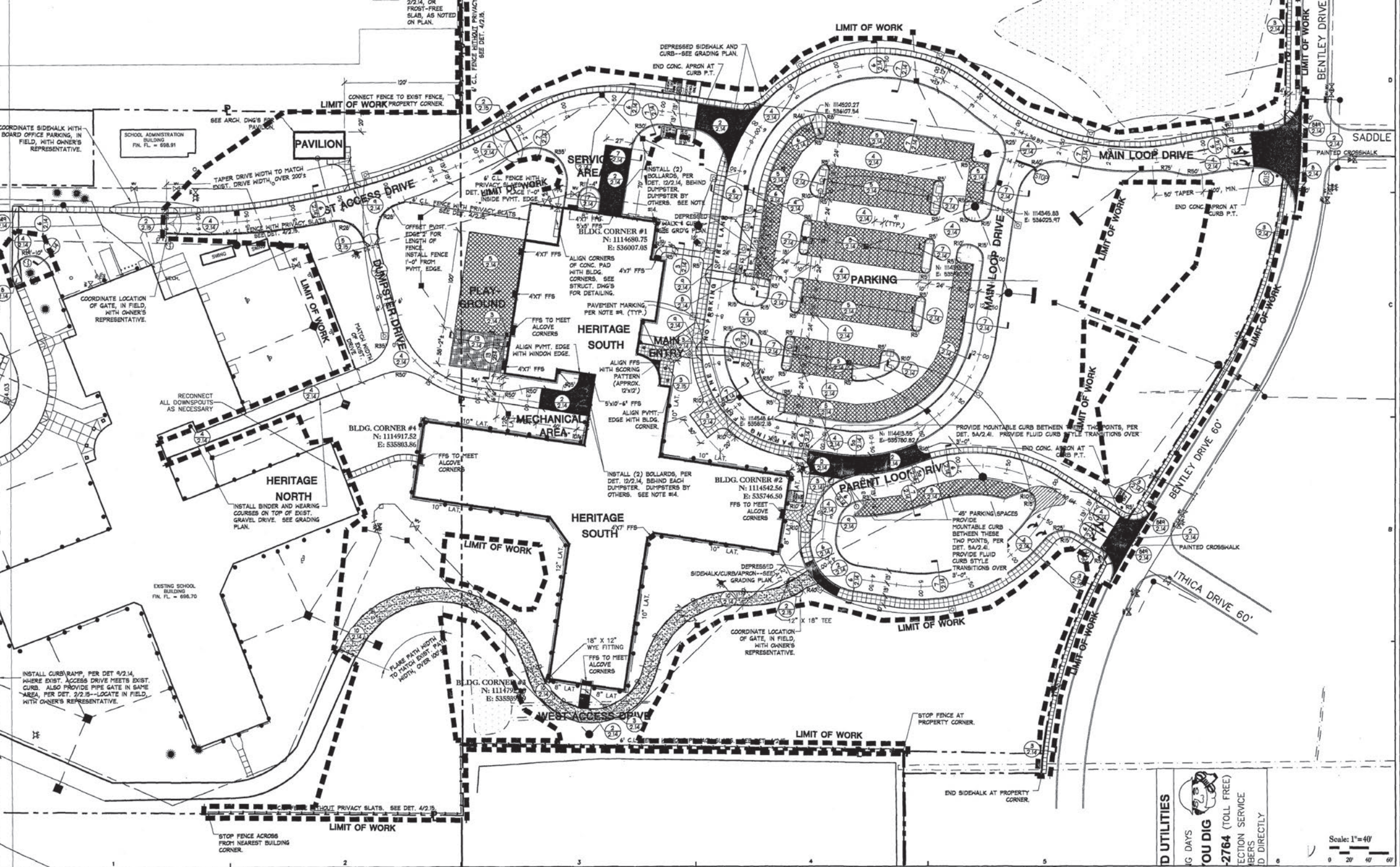
- THIS SHEET IS FOR SITE LAYOUT & DETAIL REFERENCE ONLY.
- ALL DIMENSIONS/COORDINATES ARE TO FACE OF CURBS AND WALLS, UNLESS NOTED OTHERWISE ON DRAWING.
- PROVIDE CONTROL JOINTS ON CURBS EVERY 10' MAX, AND EXPANSION JOINTS EVERY 30', AND AT P.C.'S AND P.T.'S. FOR INTEGRAL CURBS AND HALKS, ALIGN CURB JOINTS WITH HALK JOINTS.
- NEW CURBS ALONG CITY STREETS TO MATCH STYLE AND INSTALLATION OF ADJACENT EXISTING CURBS.
- ALL NEW SIDEWALK PARALLEL TO CITY STREETS TO BE 4'-0" WIDE AND INSTALLED 1'-0" INSIDE STREET RIGHT-OF-WAY.
- WHERE PROPOSED 4" CURBS MEET EXISTING CURBS OF A DIFFERENT STYLE, PROVIDE A FLUID TRANSITION OVER 4'-0".
- THIS DRAWING SHOWS LOCATIONS AND SIZES OF FROST FREE SLABS (F.F.S.) ONLY. REFER TO ARCH. & STRUCT. DWG'S FOR FROST FREE SLAB DETAILING.
- INSTALL ALL FENCING AT PROPERTY LINE ON THE PROPERTY LINE. FENCE IS SHOWN OFFSET FROM PROPERTY LINE FOR GRAPHIC REASONS ONLY.
- ALL ON-SITE TRAFFIC SIGNAGE TO MEET GOOT ITEM 730 AND ODOT STANDARD SIGN DESIGN MANUAL. INSTALLATION TO MATCH THAT OF DET. 10/2.14. SEE TRAFFIC SIGN LEGEND FOR GOOT SIGN CODES.
- ALL WORD & ARROW PAVEMENT MARKINGS SHALL BE INSTALLED PER GOOT MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES.
- REFER TO EXISTING CONDITIONS DRAWING FOR BENCHMARK INFORMATION.
- SITE UTILITIES ARE SHOWN FOR REFERENCE ONLY. REFER TO SITE ELECTRICAL AND SITE UTILITY PLANS.
- INSTALL 1'-0" MAINTENANCE STRIP ALONG ALL BUILDING FACES THAT DO NOT ABUT PAVEMENT OR PLANTING BEDS, PER DET. 1/2.15.
- THIS LAYOUT DRAWING WILL BE MADE AVAILABLE, IN CAD FORMAT, TO SURVEYOR.
- INSTALL 6' C.L. FENCE, WITH VINYL SLATS (TO MATCH EXISTING FENCE, ON-SITE,) ON BOTH SIDES OF DUMPSTERS AT SERVICE AREA AND MECHANICAL AREA. DO NOT INCLUDE GATE. OFFSET FENCE 2' FROM DUMPSTER SIDES, AND EXTEND 2' BEYOND FRONT OF DUMPSTERS.
- INSTALL ALL FENCING AT PROPERTY LINE ON THE PROPERTY LINE. FENCE IS SHOWN OFFSET FROM PROPERTY LINE FOR GRAPHIC REASONS ONLY.

GENERAL LEGEND:

- CONCRETE HALK
- CONTROL JOINT
- EXPANSION JOINT (E.J.)
- PAVEMENT EDGE WITH CURB
- PAVEMENT EDGE WITH NO CURB
- CURVE PC (POINT OF CURVATURE,) AND PT (POINT OF TANGENT)
- C.L. CENTERLINE
- LIGHT-DUTY ASPHALT PAVEMENT--SEE DET. 3/2.14.
- 12" WIDE CROSSHALK STRIPING
- 24" WIDE PAINTED STOP BAR
- PAVEMENT MARKING--SEE GENERAL NOTE #1.
- 4" WIDE PAVEMENT STRIPING
- HANDICAP SYMBOL PAVEMENT MARKING
- PLAY SURFACING PER DET. 1/2.14.
- HEAVY DUTY CONC., PER DET. 2/2.14, OR FROST-FREE SLAB, AS NOTED ON PLAN.

TRAFFIC SIGNAGE LEGEND:

- GENERAL LOCATION OF SIGN--EDGE OF SIGN PANEL TO BE 2'-0" MIN. FROM ALL PAVEMENT EDGES. SEE GENERAL NOTE #8.
- ODOT SIGN R-1-30
- SAME PROPERTIES AS ODOT SIGN R-1-24, EXCEPT WITH THIS TEXT.
- SAME PROPERTIES AS ODOT SIGN R-1-24, EXCEPT WITH THIS TEXT.
- SAME PROPERTIES AS ODOT SIGN R-1-24, EXCEPT WITH THIS TEXT.
- SAME PROPERTIES AS ODOT SIGN R-1-24, EXCEPT WITH THIS TEXT.
- SEE DET. 10/2.15.



mkc ASSOCIATES, INC.
 ■ ARCHITECTURE
 ■ ENGINEERING
 ■ PLANNING
 380 NORTH MAIN STREET
 SUITE 500
 P.O. BOX 846
 MANSFIELD, OH 44901
 PHONE: 419-525-1102
 FAX: 419-525-1428
 NEW PHILADELPHIA
 MANSFIELD
 COLUMBUS
 www.mkcinco.com

BEHNKE
 Behnke Associates, Inc.
 1215 D Wess 19th Street
 Cleveland, Ohio 44115-1289
 P: 216-589-1100 F: 216-589-8000
 W: www.behnke.com E: info@behnke.com

NEW ELEMENTARY SCHOOL FOR AVON LOCAL SCHOOLS
 AVON OHIO

Issued for Bid 12-9-03

REVISIONS		
MARK	DATE	DESCRIPTION

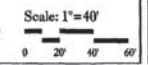
DRAWN BY: MDH PROJ. MGR.: MDH

SHEET CONTENT

LAYOUT PLAN

JOB NO. 03-ED1-240	SHEET 2.10
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UTILITIES
 10 DAYS
YOU DIG
 2764 (TOLL FREE)
 SECTION SERVICE
 MEMBERS
 D DIRECTLY



**HERITAGE
ELEMENTARY**

AVON SCHOOL DISTRICT

OHIO SCHOOL FACILITIES COMMISSION

CONSTRUCTION DATES:

2001,2004,2006

ACREAGE:

31.7

TOTAL SF:

148,281

GRADES:

3rd-5Th

CURRENT ENROLLMENT:

966

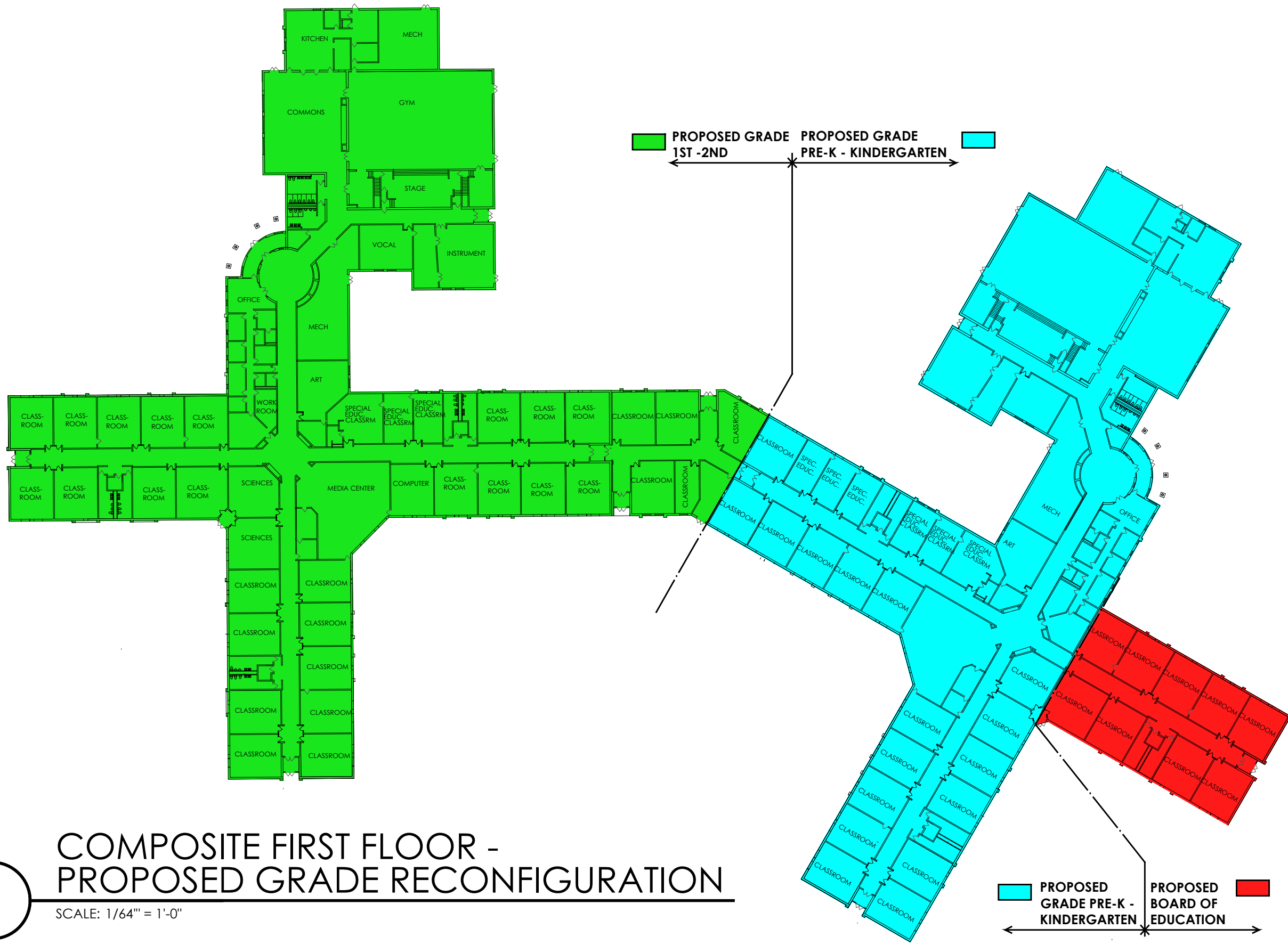
SQUARE FEET PER STUDENT:

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DATE ISSUED:

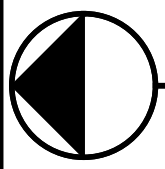
JULY, 2023

LEGENDS:



**COMPOSITE FIRST FLOOR -
PROPOSED GRADE RECONFIGURATION**

SCALE: 1/64" = 1'-0"



SHEET NO
2 OF 8

HERITAGE ELEMENTARY

AVON SCHOOL DISTRICT

OHIO SCHOOL FACILITIES COMMISSION

CONSTRUCTION DATES:

2001,2004,2006

ACREAGE:

31.7

TOTAL SF:

148,281

GRADES:

3rd-5Th

CURRENT ENROLLMENT:

966













SQUARE FEET PER STUDENT:

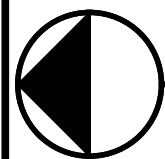
153

DATE ISSUED:

JULY, 2023

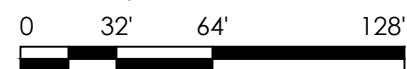
LEGENDS:

BUILDING COMPONENT	
	CORRIDORS
	GYMNASIUM
	MEDIA CENTER
	STUDENT DINING
	KITCHEN
	CT PROGRAMS (LOW-BAY)
	CT PROGRAMS (HIGH-BAY)
	AGRICULTURAL EDUCATION LAB
	NON-DESIGN MANUAL
	UNUSABLE
	OVERSIZED
	TUNNELS

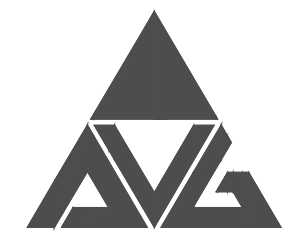


FIRST FLOOR PLAN PART 1

SCALE: 1/32" = 1'-0"

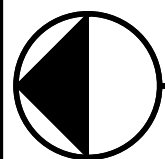
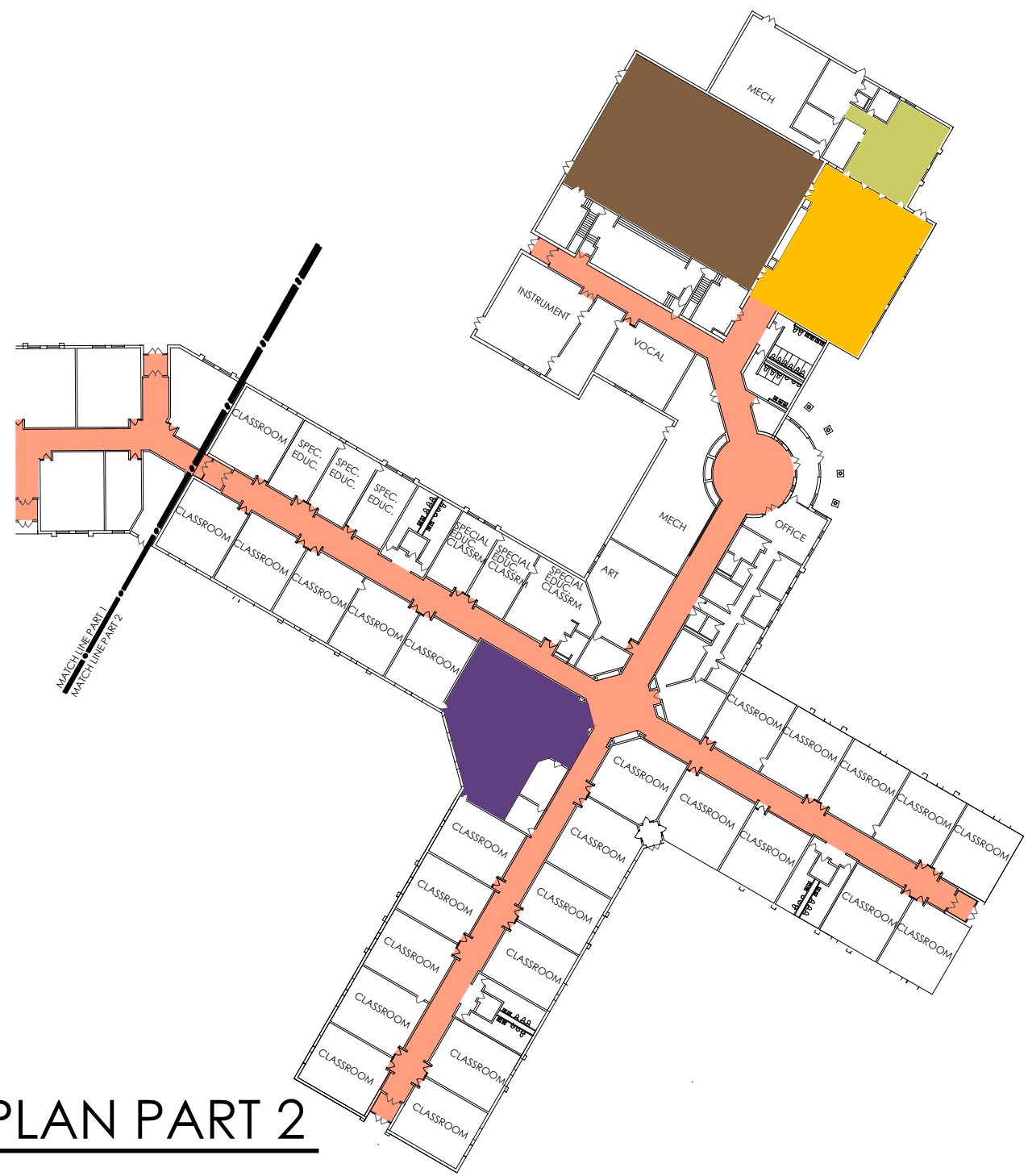


ADDITION	AUDITORIUM FIXED SEATING	CORRIDORS	AGRICULTURAL EDUCATION LAB	PRIMARY GYMNASIUM	MEDIA CENTER	VOCATIONAL SPACE	STUDENT DINING	KITCHEN	NATATORIUM	INDOOR TRACKS	ADULT EDUCATION	BOARD OFFICES	OUTSIDE AGENCIES	AUXILIARY GYMNASIUM
ORIG. CONS. (2001)		10,019		5,520	2,679		3,126	1,089						
1. ADDITION (2004)		9,997		5,520	2,680		3,126	1,089						
2. ADDITION (2006)		1,548												
TOTAL SF		21,564		11,040	5,359		6,252	2,178						



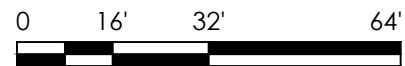
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CLEVELAND, OHIO 44145

SHEET NO
3 OF 8



FIRST FLOOR PLAN PART 2

SCALE: 1/64" = 1'-0"



ADDITION	AUDITORIUM FIXED SEATING	CORRIDORS	AGRICULTURAL EDUCATION LAB	PRIMARY GYMNASIUM	MEDIA CENTER	VOCATIONAL SPACE	STUDENT DINING	KITCHEN	NATORIUM	INDOOR TRACKS	ADULT EDUCATION	BOARD OFFICES	OUTSIDE AGENCIES	AUXILIARY GYMNASIUM
ORIG. CONS. (2001)		10,019		5,520	2,679		3,126	1,089						
1. ADDITION (2004)		9,997		5,520	2,680		3,126	1,089						
2. ADDITION (2006)		1,548												
TOTAL SF		21,564		11,040	5,359		6,252	2,178						

HERITAGE ELEMENTARY

AVON SCHOOL DISTRICT

OHIO SCHOOL FACILITIES COMMISSION

CONSTRUCTION DATES:

2001,2004,2006

ACREAGE:

31.7

TOTAL SF:

148,281

GRADES:

3rd-5Th

CURRENT ENROLLMENT:

966

SQUARE FEET PER STUDENT:

153

DATE ISSUED:

JULY, 2023

LEGENDS:

BUILDING COMPONENT

- CORRIDORS
- GYMNASIUM
- MEDIA CENTER
- STUDENT DINING
- KITCHEN
- CT PROGRAMS (LOW-BAY)
- CT PROGRAMS (HIGH-BAY)
- AGRICULTURAL EDUCATION LAB
- NON-DESIGN MANUAL
- UNUSABLE
- OVERSIZED
- TUNNELS



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SHEET NO
4 OF 8

HERITAGE ELEMENTARY

AVON SCHOOL DISTRICT

OHIO SCHOOL FACILITIES COMMISSION

CONSTRUCTION DATES:

2001,2004,2006

ACREAGE:

31.7

TOTAL SF:

148,281

GRADES:

3rd-5Th

CURRENT ENROLLMENT:

966

SQUARE FEET PER STUDENT:

153

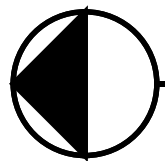
DATE ISSUED:

JULY, 2023

LEGENDS:

BUILDING COMPONENT

- CORRIDORS
- GYMNASIUM
- MEDIA CENTER
- STUDENT DINING
- KITCHEN
- CT PROGRAMS (LOW-BAY)
- CT PROGRAMS (HIGH-BAY)
- AGRICULTURAL EDUCATION LAB
- NON-DESIGN MANUAL
- UNUSABLE
- OVERSIZED
- TUNNELS



COMPOSITE MEZZANINE FLOOR

SCALE: 1/32" = 1'-0"

0 16' 32' 64'



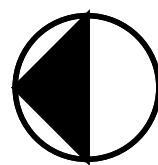
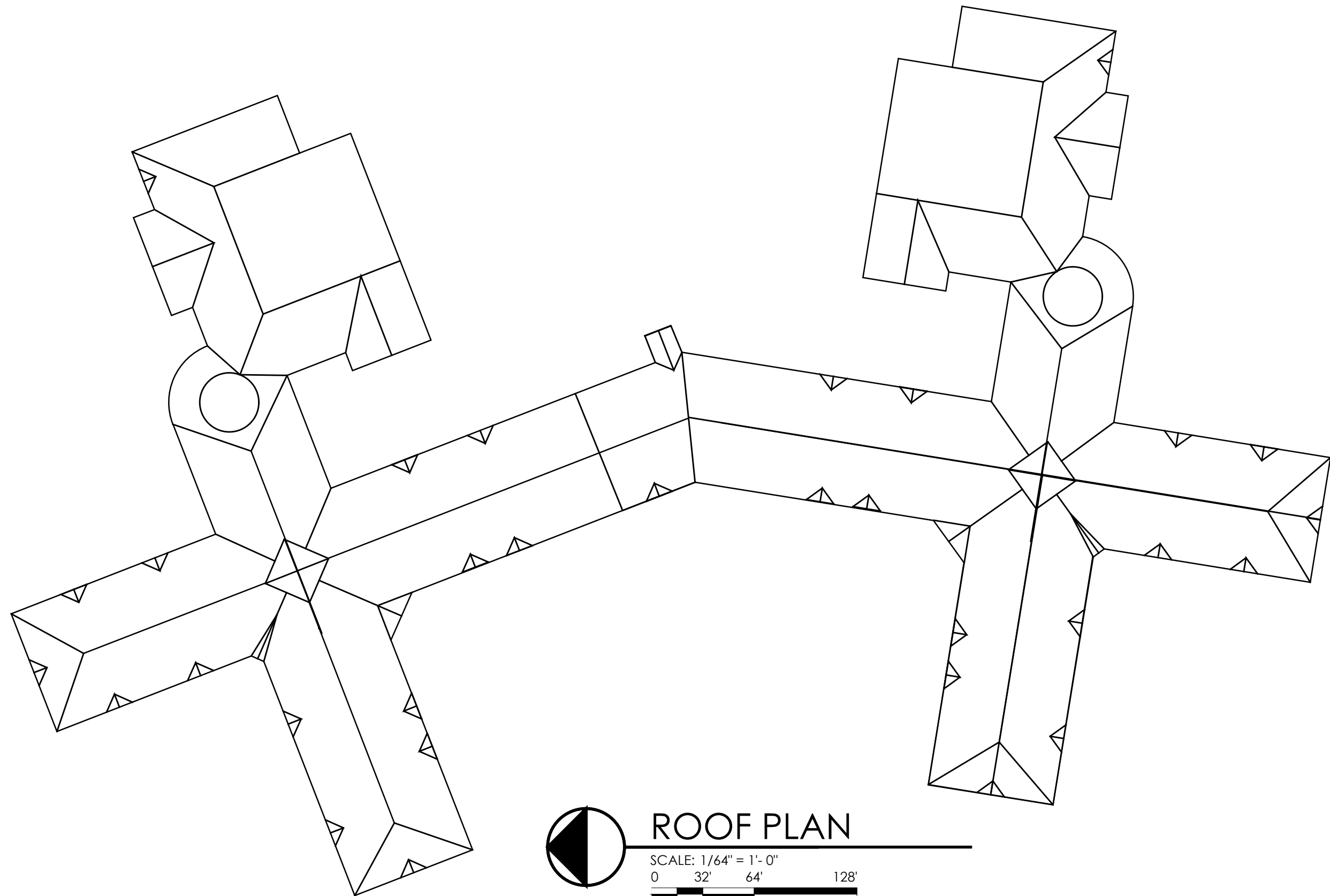
ADDITION	AUDITORIUM FIXED SEATING	CORRIDORS	AGRICULTURAL EDUCATION LAB	PRIMARY GYMNASIUM	MEDIA CENTER	VOCATIONAL SPACE	STUDENT DINING	KITCHEN	NATORIUM	INDOOR TRACKS	ADULT EDUCATION	BOARD OFFICES	OUTSIDE AGENCIES	AUXILIARY GYMNASIUM
ORIG. CONS. (2001)		10,019		5,520	2,679		3,126	1,089						
1. ADDITION (2004)		9,997		5,520	2,680		3,126	1,089						
2. ADDITION (2006)		1,548												
TOTAL SF		21,564		11,040	5,359		6,252	2,178						



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SHEET NO
5 OF 8



ROOF PLAN

SCALE: 1/64" = 1'-0"

0 32' 64' 128'



HERITAGE ELEMENTARY

AVON SCHOOL DISTRICT

OHIO SCHOOL FACILITIES COMMISSION

CONSTRUCTION DATES:

2001,2004,2006

ACREAGE:

31.7

TOTAL SF:

148,281

GRADES:

3rd-5Th

CURRENT ENROLLMENT:

966

SQUARE FEET PER STUDENT:

153

DATE ISSUED:

JULY, 2023

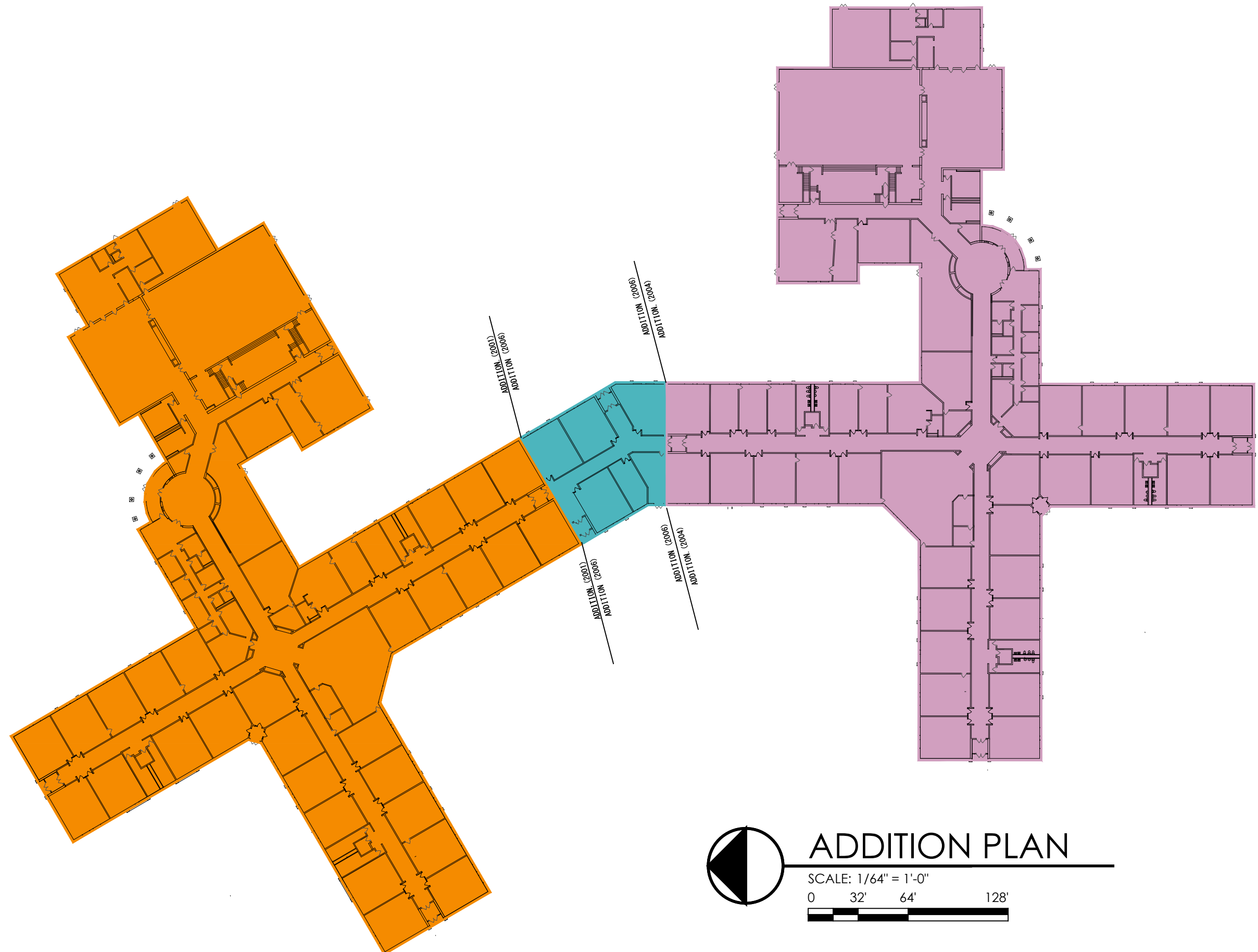
LEGENDS:



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SHEET NO
6 OF 8



**HERITAGE
ELEMENTARY**

AVON SCHOOL DISTRICT

OHIO SCHOOL FACILITIES COMMISSION

CONSTRUCTION DATES:
2001,2004,2006

ACREAGE:
31.7

TOTAL SF:
148,281

GRADES:
3rd-5Th

CURRENT ENROLLMENT:
966

SQUARE FEET PER STUDENT:
153

DATE ISSUED:
JULY, 2023

LEGENDS:

CONSTRUCTION DATES	
	ORIGINAL (2001)
	1. Addition (2004)
	2. Addition (2006)



ADDITION PLAN

SCALE: 1/64" = 1'-0"

0 32' 64' 128'

SHEET NO
7 OF 8

HERITAGE
ELEMENTARY

AVON SCHOOL DISTRICT

OHIO SCHOOL FACILITIES COMMISSION

CONSTRUCTION DATES:

2001,2004,2006

ACREAGE:

31.7

TOTAL SF:

148,281

GRADES:

3rd-5Th

CURRENT ENROLLMENT:

966

SQUARE FEET PER STUDENT:




153

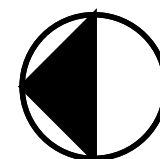
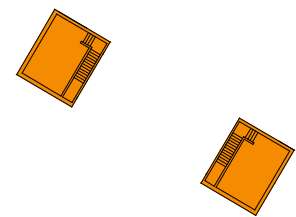
DATE ISSUED:

JULY, 2023

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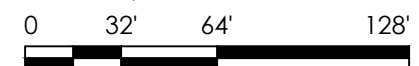
CONSTRUCTION DATES

-  ORIGINAL (2001)
-  1. Addition (2004)
-  2. Addition (2006)



ADDITION PLAN

SCALE: 1/64" = 1'-0"



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SHEET NO
8 OF 8

Avon Local Schools

FACILITY ASSESSMENT REPORT

Building Assessment

Avon Early Learning Center



General Description



Avon Early Learning Center, which is not on the National Register of Historic Buildings, and originally constructed in 1955, additions in 1956, 1961, and 1970, is a single story, 64,490 square foot brick school building located in a suburban residential setting. The existing facility features a conventionally partitioned design, and does not utilize modular buildings.

The structure of the overall facility contains masonry type exterior wall construction, with masonry and gypsum board type wall construction in the interior. The floor system consists of slab on grade. The roof structure is tectum deck on steel joists. The roofing system of the overall facility is EPDM fully adhered membrane, installed in 1994. The ventilation system of the building is inadequate to meet the needs of the users.

The Classrooms are undersized in terms of the current standards established by the State of Ohio. Physical Education and Student Dining spaces consist of one Gymnasium and separate Student Dining. The electrical system for the facility is inadequate. The facility is equipped with a security system. The building has a compliant automatic fire alarm system. The facility is not equipped with an automated fire suppression system. The building is reported to contain asbestos and other hazardous materials. The overall building is not compliant with ADA accessibility requirements.

The school is located on a 30.52-acre site adjacent to properties. The property is partially fenced for security. Access onto the site is unrestricted. Site circulation is poor. There is no dedicated space for school buses to load and unload on the site. Parking for staff, visitors and community events is adequate.

ITEM A: HEATING SYSTEM

Description

The entire facility is heated from gas-fired furnace units and multiple gas-fired rooftop units mounted on grade. Most classrooms are served from a single furnace unit with offices and the common areas being served by the rooftop units and ductwork. The gym area is heated from 2 gas-fired unit heaters. The existing heating and ventilating unit serving the gym is not operating. All of the gas-fired equipment appears to be over 20 years old and reaching the end of its useful life. The systems do not provide the proper amounts of ventilation air. There is no central energy recovery systems or separate control for each classroom space. The temperature controls of the entire facility are pneumatic and need to be upgraded to electronic.

Recommendations

Provide overall new heating and cooling systems from a central boiler and chiller plant. Systems will include correct ventilation rates, energy recovery, separate control for each space and updated controls. Pricing will include additional funding for upgrading the non-ducted system to a ducted system.

Cost

A. Heating System Upgrade	\$50.81	x	64,490	SF	\$	3,276,736.90
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ITEM B: ROOFING

Description

The roof over the overall facility is an EPDM system that was installed in 1994, and is in fair condition. Active leaking at a low roof to high roof location at the gymnasium and corridor wall was observed due to heavy rains the night before. The District has reported that this is common. Access to the roof was gained by an access hatch that is in fair condition. Fall safety protection cages are not required, and are not provided.

There were observations of standing water on the roof. Metal cap flashings are in fair condition. Roof storm drainage is addressed through a system of roof drains, which are properly located, and in fair condition. The roof is not equipped with overflow roof drains.

No problems requiring attention were encountered with any roof penetrations.

There is a small covered walkway attached to this structure at the main entrance.



EPDM Roof



Roof Drains

Recommendations

The roof over the overall facility requires replacement to meet Ohio School Design Manual guidelines for age of system. The flashing and coping on the overall facility require replacement due to condition. Due to existing conditions any deck that is wet and drains need to be replaced as well as adding overflow drains. Replace access hatch and ladder to roof.

Cost

B.	TPO Membrane Replacement	\$18.69 x 48,438	SF	\$ 905,306.22
	Standing Seam Replacement	\$23.27 x 11,663	SF	\$ 271,398.01
	Insulation	\$3.87 x 11,663	SF	\$ 45,135.81
	Tapered Insulation	\$5.58 x 48,438	SF	\$ 270,284.04
	Flashing/Coping	\$22.26 x 2,102	LF	\$ 46,790.52
	Replace Roof rains	\$1,451.27 x 21	ea	\$ 30,476.67
	OF drains	\$3,629.27 x 21	ea	\$ 76,214.67
	Replace Roof Deck	\$6.35 x 200	SF	\$ 1,270.00
	Roof Hatch	\$2,419.51 x 1	ea	\$ 2,419.51
	Roof Ladder	\$120.98 x 14	LF	\$ 1,693.72
	Hi/Low Roof Flashing	Allowance		\$ 100,000.00

\$ 1,750,989.17

ITEM C: AIR CONDITIONING

Description

There is no central air conditioning system for this facility. Each classroom has a window air-conditioning unit. The administration area has mini split systems serving the offices and reception area. The gym and locker rooms have no air conditioning or ventilation.

General toilet exhaust is present and adequate in all group restrooms, janitors' closets and storage areas.

There are no rooms that require additional exhaust (science, art rooms, scene shops etc.).



Window A/C Unit

Recommendations

Complete heating and air conditioning upgrade along with temperature controls will be included as outlined in Item A.

Cost

- C. No Work required

ITEM D: ELECTRICAL

Description

There are two electrical systems provided to the overall facility. The first is a 120/240 volt, 800 amp, single phase, 3 wire system, and is in fair condition. The second is a 240 volt, three phase, 3 wire system, and is in fair condition.

Power is provided to the school by utility owned transformers located in a transformer room located outside of the electrical room. The transformer room was not accessible, so condition is unknown. The distribution panels, installed in 2010, are in good condition and cannot be expanded to add additional capacity. The lighting and appliance panelboards are mostly original to the building, installed in 1955, and in poor condition and cannot be expanded to add additional capacity.

The Classrooms are equipped with adequate electrical outlets. The typical Classroom contains 4 general purpose outlets, 0 dedicated outlets for each Classroom computer, and 1 dedicated outlet for each Classroom television. Some Classrooms are equipped with as many as 8 general purpose outlets, while others are equipped with as few as 4 general purpose outlets. There are not any spaces that have no electrical outlets.

The Corridors are equipped with adequate electrical outlets for servicing. Adequate GFI protected exterior outlets are not provided around the perimeter of the building. The facility is not equipped with an emergency generator. Adequate lightning protection safeguards are not provided.

The existing facility is not equipped with a Stage.



Typical Panel in Original Construction

Recommendations

The entire electrical system requires replacement to meet Ohio School Design Manual guidelines due to condition and age, lack of OSDM-required features, and to facilitate the scope of work outlined in Item A.

Provide an emergency generator, with funding included in the electrical system replacement.

Provide adequate lightning protection safeguards in the overall facility, including associated grounding system, with funding included in the electrical system replacement.

Cost

D. Electrical System Replacement	\$34.79 x 64,490	SF	\$	2,243,607.10
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ITEM E: PLUMBING

Description

There is 1 group restroom for the girls and 1 group restroom for the boys. These restrooms contain 8 floor mount water closets (3 with automatic flush valves, and 5 with manual flush valves), 3 floor mount urinals with manual flush valves and 6 countertop lavatories with manual faucets. There are both a girls and boys locker room that contain: 3 floor mount water closets (2 with automatic flush valves and 1 with manual flush valve), 1 wall hung urinal with manual flush valve, 4 wall hung urinals with manual faucet and without the insulated P-trap and 18 showers.

There are 4 staff restrooms that consist of 4 floor mount water closets with automatic flush valve and 4 wall hung lavatory with manual faucet. There are 4 electric water coolers (1 with a bottle filler and in good shape, and 3 units that are old and need replaced).

There is no kitchen facility at this site.

Recommendations

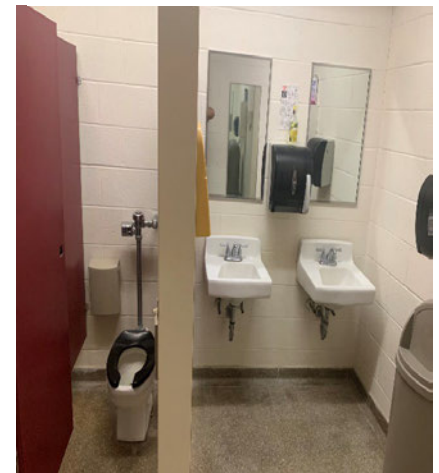
- Remove/Replace 2 domestic water heaters.
- Remove/Replace all underground sanitary piping due to age.
- Remove/Replace all domestic water lines due to age and condition.
- Remove/Replace 15 water closets.
- Remove/Replace 4 urinals.
- Remove/Replace 14 lavatories.
- Remove/Replace 3 electric water coolers.

Cost

E.	Replace Domestic Water Heater	\$12,000.00	x	2	unit	\$	24,000.00
	Remove/Replace 15 water closets	\$1,814.64	x	15	unit	\$	27,219.60
	Remove/Replace 4 urinals	\$1,814.64	x	4	unit	\$	7,258.56
	Remove/replace 14 lavatories	\$1,814.64	x	14	unit	\$	25,404.96
	Remove/Replace EWC w/bottle fillers	\$3,629.27	x	3	unit	\$	10,887.81
	Replace all Domestic Water Piping	\$4.23	x	64,490	SF	\$	272,792.70
	Replace all Sanitary Piping	\$4.23	x	64,490	SF	\$	272,792.70
						\$	640,356.33



Floor-Mounted Urinals with Manual Flush Valves



Wall-Hung Lavatories with Manual Faucets

ITEM F: WINDOWS

Description

The overall facility is equipped with aluminum frame double pane glazed type window system, which was installed in 1994, and is in fair condition, but the window system does not have thermally broken separation as required by code. The window system features operable windows throughout the building, and are not equipped with opening limiters. Window system seals are in fair condition, with minimal air and water infiltration being experienced. Window system hardware is in fair condition. The window system features integral blinds, which are in fair condition. This facility is not equipped with any curtain wall systems. This facility does not feature any glass block windows.



The exterior doors in the overall facility are equipped with aluminum frame sidelights and transoms with double glazed insulated glazing, in fair condition. Exterior door vision panels are glazed insulated.



The school does not contain skylights. The school does not contain clerestories. Interior glass is OSDM-compliant. Window security grilles are not provided for ground floor windows. There is not a Greenhouse associated with this school.



Recommendations

Replace all windows in the overall facility due to windows not being thermally broken as required by code.

Cost

F. Window Replacement	\$122.85 x 3,739	SF	\$	459,336.15
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ITEM G: STRUCTURE – FOUNDATION

Description

The overall facility is equipped with concrete masonry unit foundation walls on concrete footings, which displayed no locations of significant differential settlement, cracking, or leaking, and are in fair condition. No significant issues related to foundation cracking or spalling were encountered. The District reports that there has been no past leaking. No grading or site drainage deficiencies were noted around the perimeter of the structure that are contributing or could contribute to foundation / wall structural deterioration.

Recommendations

Existing conditions require no renovation or replacement at the present time.

Cost

G. No Work required

ITEM H: STRUCTURE (WALLS AND CHIMNEYS)

Description

The overall facility has a brick veneer on load bearing masonry wall system, which displayed some locations of deterioration, and is in fair condition. The exterior masonry appears to have appropriately spaced and adequately caulked control joints in fair condition. Control joints are provided at lintel locations, at doors and windows, building corners, and wall offsets. The school does have sufficient expansion joints, and they are in fair condition.



Exterior Wall

Brick veneer masonry walls are not cavity walls.

Weep holes and vents are not provided.

The exterior masonry has been cleaned and sealed in recent years, showing minimal evidence of mortar deterioration.



Exterior Brick and Control Joints

Interior walls are concrete masonry units, glazed block, brick, plaster, and gypsum board and are in fair condition. Interior masonry appears to have adequately spaced and caulked control joints in fair condition. Interior soffits are of plaster and gypsum board type construction, and in fair condition.

There are no chimneys. Exterior soffits are of metal panel type construction, and in fair condition.

The school is not equipped with a loading dock.

Recommendations

Provide tuckpointing in all areas of mortar deterioration as required through the overall facility.
 Provide masonry cleaning, sealing, caulking as required through the overall facility.
 Repoint stone window sills and stone strip through the overall facility.
 Prep and paint exposed steel lintels through the overall facility.

Cost

H.	Tuckpointing	\$9.08 x 10,000	SF	\$	90,800.00
	Cleaning	\$1.82 x 21,142	SF	\$	38,478.44
	Sealing	\$1.21 x 21,142	SF	\$	25,581.82
	Clean and repaint Lintel	\$10.00 x 200	LF	\$	2,000.00
	Prep and Repaint exterior Soffits	Lump Sum		\$	15,000.00
	Repoint Stone Window Sills	Lump Sum		\$	20,000.00
				\$	191,860.26

ITEM I: STRUCTURE (FLOORS & ROOFS)

Description

The floor construction of the base floor of the overall facility is concrete slab on grade type construction, and is in fair condition. There is no crawl space.

There are no intermediate floors in this single-story structure.

Ceiling to structural deck spaces are insufficient to accommodate HVAC, electrical, and plumbing scopes of work in required renovations.

The roof construction of the overall facility is tectum on steel beams type construction, and is in fair condition. Areas of water leakage mentioned in Item B should be investigated for soft deck spaces due to water.

Recommendations

Refer to Item A for funding of architectural soffits to accommodate HVAC, electrical, and plumbing scopes of work.

Provide for the painting of exterior soffits.

Provide for investigation to the tectum deck where leaking has occurred.

Provide for water proofing of lower-level lockers.

Cost

I. Provide paint of exterior soffits	Allowance	\$ 10,000.00
Provide for Tectum Deck replacement	Allowance	\$ 25,000.00
Provide for Waterproofing of lower-level lockers	Allowance	<u>\$ 200,000.00</u>
		\$235,000.00

ITEM J: GENERAL FINISHES

Description

The overall facility features conventionally partitioned Open Space Classrooms with vinyl coated tile (VCT) type flooring, acoustical ceiling tile (ACT) type ceilings, as well as Concrete Masonry Unit (CMU) type wall finishes, and they are in fair but dated condition. The overall facility has Corridors with VCT type flooring, ACT type ceilings, as well as CMU and glazed block type wall finishes, and they are in fair condition. The overall facility has Restrooms with porcelain tile type flooring, ACT type ceilings, as well as ceramic tile type wall finishes, and they are in fair but dated condition. Toilet partitions are composite and plastic, and are in fair condition.

Classroom casework in the overall facility is composite type construction with plastic laminate tops, is adequately provided, and in fair condition. The typical Classroom contains 15 lineal feet of casework, and Classroom casework provided ranges from 9 to 20 feet. Classrooms are provided adequate markerboards and tackboards which are in fair condition. The Classroom storage cubbies, located in the Corridors, are adequately provided, and in fair condition. The Art program is equipped with a kiln in fair condition, and existing kiln ventilation is adequate.

The facility is equipped with wood louvered and non-louvered interior doors that are flush mounted without proper ADA hardware and clearances, and in fair condition.

The Gymnasium space have wood type flooring, exposed tectum deck type ceilings, as well as CMU type wall finishes, and they are in fair condition. Wood Gymnasium flooring has been well maintained, will accommodate minimal future sandings and refinishings, and is rated at an advanced stage of its product lifecycle. Gymnasium concrete fixed stands fair condition. Gymnasium basketball backboards are electrically operated type, and are in fair condition. The Media Center, located in the original construction, has VCT type flooring, ACT type ceilings, as well as CMU type wall finishes, and they are in poor condition. Student Dining, located in the original building, has VAT type flooring, ACT type ceilings, as well as CMU type wall finishes, and they are in poor condition. No stage or equipment is provided. Existing Gymnasium, Student Dining, Media Center, and Music spaces are provided with appropriate sound attenuation acoustical surface treatments.

There is no kitchen facility at this site.

Recommendations

Provide complete replacement of finishes and casework due to installation of systems outlined in Items A, C, D, E, I, K, L, M, T, U, W.

Replace gymnasium wood flooring due to age.

Funding for replacement of interior doors is provided in Item O, including doors here noted as being in poor condition.

Cost

J.	Complete Replacement of Finishes	\$33.57 x 64,490	SF	\$ 2,164,929.30
	Replacement of Kitchen Equipment	\$229.85 x 548	SF	\$ 125,957.80
	Additional Wall Insulation	\$7.86 x 64,490	SF	\$ 506,891.40
	Replacement of Wood Gym Flooring	\$17.00 x 10,000	SF	<u>\$ 170,000.00</u>
				\$ 2,967,778.50

ITEM K: INTERIOR LIGHTING

Description

The typical Classrooms in the overall facility are equipped with T-8 2x4 lay-in fluorescent fixtures with dual level switching. Classroom fixtures are in good condition, providing an average illumination of 40 FC, which is less than the 50 FC recommended by the OSDM.

The typical Corridors in the overall facility are equipped with T-8 surface mount fluorescent fixtures with dual level switching. Corridor fixtures are in good condition, providing an average illumination of 23 FC, thus complying with the 20 FC recommended by the OSDM.

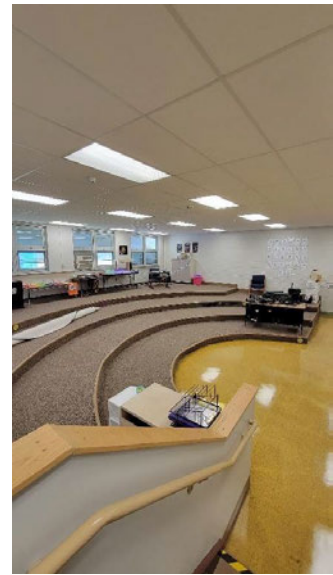
The Primary Gymnasium spaces are equipped with suspended fluorescent fixtures in good condition, providing an average illumination of 12 FC, which is less than the 30 FC recommended by the OSDM.

The Student Dining spaces are equipped with lay-in fluorescent fixture type lighting with dual level switching. Student Dining fixtures are in good condition, providing an average illumination of 50 FC, thus complying with the 50 FC recommended by the OSDM.

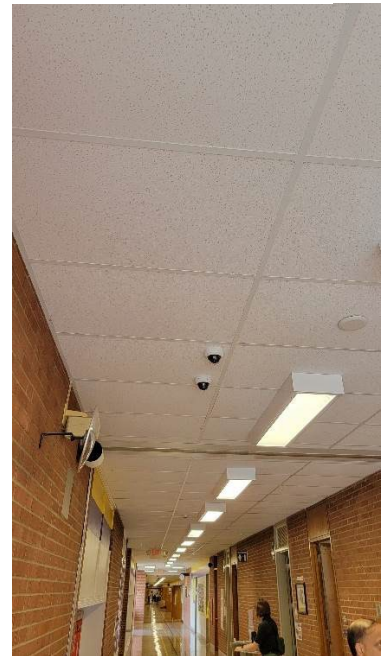
The Kitchen spaces are equipped with linear suspended fluorescent fixtures with dual level switching. Kitchen fixtures are in fair condition, providing an average illumination of 20 FC, which is less than the 50 FC recommended by the OSDM.

The service areas in the overall facility are equipped with linear suspended T-8 fluorescent fixture type lighting in good condition.

The typical administrative spaces in the overall facility are equipped with 2x4 lay-in fluorescent fixture type lighting in good condition, providing inadequate illumination based on OSDM requirements.



Typical Class Lighting



Typical Corridor Lighting

Recommendations

Provide complete replacement of lighting system due to installation of systems outlined in Items A and U.

Cost

K.	Complete Lighting Replacement (Includes demo of existing fixtures)	\$7.86 x 64,490	SF	\$	506,891.40
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ITEM L: SECURITY SYSTEM

Description

The overall facility contains a security system utilizing CCTV cameras and door contacts, in good condition. Exterior doors are equipped with door contacts. An automatic visitor control system is not provided. Compliant color CCTV cameras are provided at main entry areas and main Corridors. CCTV is monitored in Administrative Area. A compliant computer-controlled access control system integrating alarms and video signals, with appropriate UPS backup, is not provided. The security system is adequately provided throughout, and the system is compliant with Ohio School Design Manual guidelines.

There are no playground fencing issues requiring attention.

The exterior site lighting system is equipped with wall mounted HID entry lights in poor condition. Pedestrian walkways are illuminated with wall mounted HID lights in poor condition. Parking and bus pick-up / drop off areas are illuminated by utility owned pole mounted HID fixtures in poor condition. The exterior site lighting system provides inadequate illumination due to insufficient fixture capacity.

Recommendations

Provide complete replacement of security system to meet Ohio School Design Manual guidelines.

Provide complete replacement of exterior site lighting system to meet Ohio School Design Manual guidelines.

Cost

L.	Security System	\$3.45 x 64,490	SF	\$	222,490.50
	Exterior Site Lighting	\$1.21 x 64,490	SF	\$	78,032.90
				\$	300,523.40

ITEM M: EMERGENCY / EGRESS LIGHTING

Description

The overall facility is equipped with an emergency egress lighting system consisting of non-compliant red-lettered, plastic construction exit signs, and the system is in fair condition. The facility is equipped with emergency egress floodlighting, and the system is in fair condition. The system is provided with appropriate battery backup.

Recommendations

Emergency lighting will be replaced due to the addition of an emergency generator in Item D and the replacement of the lighting system in Item K.

Cost

M. Complete replacement of system	\$1.21 x 64,490	SF	\$	78,032.90
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ITEM N: FIRE ALARM

Description

The overall facility is equipped with an addressable type fire alarm system installed in 2021, and in good condition, with voice communication, consisting of manual pull stations, horn/speaker indicating devices, and smoke detectors. The system is automatic and is monitored by a third party. The system is equipped with sufficient audible speaker / strobe indicating devices, and smoke detectors.



Fire Alarm Panel

Recommendations

Tamper and flow switches will be required due to systems outlined in Item U.

Cost

N. No work required



Fire Alarm in Office

ITEM O: HANDICAP ACCESS

Description

At the site, there is an accessible route provided from the public right-of-way, the accessible parking areas, and from the passenger unloading zone to the main entrance of the school. There is an accessible route connecting all or most areas of the site. The exterior entrances are mostly ADA accessible due to door assist. Access from the parking / drop-off area to the building entries is not compromised by steps or steep ramps. Adequate handicap parking is provided.



ADA Signage

Exterior doors are equipped with ADA hardware. Building entrances should be equipped with 1 ADA power assist doors, and none are provided. Playground layout and equipping are not compliant due to playground surface being wood chips and no accessible mats present.

On the interior of the building, space allowances and reach ranges are compliant. There is an accessible route through the building which does include protruding objects. Ground and floor surfaces are compliant. Ramps and stairs do meet all ADA requirements.

The elevation change in this facility is from the main level down to the locker rooms. There are no provisions for accessibility for this. No Stage is provided.

Interior doors are not recessed, are not provided adequate clearances, and are not provided with ADA-compliant hardware.

12 ADA-compliant toilets are required, and 5 are currently provided. 12 ADA-compliant Restroom lavatories are required, and 5 are currently provided. 4 ADA-compliant urinals are required, and 4 are currently provided. 1 ADA-compliant showers are required, and 1 are currently provided. 3 ADA-compliant electric water coolers are required, and 3 are currently provided that require replacement. Toilet partitions are metal, and provide appropriate ADA clearances. ADA-compliant accessories are not adequately provided and mounted. Mirrors do not meet ADA requirements for mounting heights.

Due to existing grade configuration, no Science Classroom considerations require evaluation.

Health Clinic and Special Education Restrooms are compliant with ADA requirements.

ADA signage is provided on the interior of the building.

Recommendations

Provide ADA-compliant power assist door opener for the entry vestibule, elevators, electric water coolers, toilets, sinks, urinals, toilet partitions, toilet accessories, and doors and frames in the overall facility to facilitate the school's meeting of ADA requirements.

Cost

O.	ADA Door Power Assist	\$9,073.15 x 1	ea	\$	9,073.15
	Elevator	\$61,697.62 x 2	lvl	\$	123,395.24
	Signage	\$0.24 x 64,490	SF	\$	15,477.60
	Doors and Frames	\$1,572.68 x 108	ea	\$	169,849.44
	Compliant WC	\$4,597.08 x 6	ea	\$	27,582.40
	Compliant Lavatories	\$4,597.08 x 6	ea	\$	27,582.40
	Compliant Urinals	\$4,597.08 x 4	ea	\$	18,388.32
	Compliant Toilet Partitions	\$1,500.00 x 6	ea	\$	9,000.00
	Toilet Accessories	\$1,209.76 x 8	rr	\$	9,678.08
	Mirrors	\$344.78 x 8	rr	\$	2,758.24
	Showers	\$3,629.27 x 2	ea	\$	7,258.54
				<hr/>	
				\$	420,043.41

ITEM P: SITE CONDITION

Description

The 30.52 acre relatively flat site is located in a suburban residential setting with moderate tree and shrub type landscaping. The current school site is shared with the District's stadium facilities. In addition, there is both a fuel building and underground storage tanks that should be removed and remediated. There are no apparent problems with erosion or ponding.

The site is bordered by moderately traveled city streets. A single entrance onto the site impedes proper separation of bus and other vehicular traffic, and one way bus traffic is not provided. There is a curbside bus loading and unloading zone in front of the school, which is not separated from other vehicular traffic.

Staff and visitor parking is facilitated by a multiple asphalt parking lots in poor condition, containing 373 parking places, which provides adequate parking for staff members, visitors, and the disabled. The site and parking lot drainage design, consisting of sheet drainage and catch basins, provides adequate evacuation of storm water, and no problems with parking lot ponding were observed.

Concrete curbs in fair to poor condition are appropriately placed. Concrete sidewalks are properly sloped, are located to provide a logical flow of pedestrian traffic, and are in fair to poor condition. Trash pick-up and service drive pavement is not heavy duty and is in fair to poor condition, and is equipped with a concrete pad area for dumpsters, which is in fair condition.

The playground equipment is primarily constructed of metal and high-density plastic, and is in fair condition. Playground equipment is placed to provide compliant fall zones, and on a non-compliant wood fiber mulch. The playground area is equipped with sufficient benches in fair condition.

The athletic facilities are comprised of a stadium, track, and baseball fields, and are in good condition, though they were not thoroughly assessed as a part of this assessment. Site features are suitable for outdoor gardens and benches for outdoor learning provided.



Cracked Walkway



Cracked Playground Surface



Playground

Recommendations

Provide additional parking spaces to meet OSDM guidelines, including adequate provisions for the disabled.

Provide for the replacement of concrete sidewalk and curbs where required.

Provide for the resurfacing of asphalt lots as required.

Provide for the removal of abandoned fuel building and underground tanks.

Cost

P.	Replacement of Concrete Curbs	\$38.72 x 20	LF	\$	774.40
	Replacement of Concrete Sidewalks	\$9.08 x 500	SF	\$	4,540.00
	Full Depth Replacement of Asphalt Parking/Drives	\$33.63 x 33,345	SY	\$	1,121,392.35
	Replacement of Playground Equipment	\$1.82 x 64,490	SF	\$	117,371.80
	Removal of Playground Equipment	Lump Sum		\$	2,419.51
	Replacement of Soft Surface	\$36.29 x 1,345	SY	\$	48,810.05
	Replacement of Hard Surface	\$40.00 x 265	SY	\$	10,600.00
	Site Allowance	Lump Sum		\$	150,000.00
					<hr/>
				\$	1,455,908.11

ITEM Q: SEWER SYSTEM

Description

The existing system is tied into the municipal system. Based on our walkthrough, school personnel stated no issues were present.

Recommendations

No upgrades currently.

Cost

Q. No work required

ITEM R: WATER SUPPLY

Description

The existing system is tied into the municipal system. Based on our walkthrough school officials stated that no issues are present with water pressure or volume. The existing main service line will not support the future fire protection for this facility.

Recommendations

Extend a new water line to the building. This cost will be accounted for in Item U: Life Safety.

Cost

R. No work required

ITEM S: EXTERIOR DOORS

Description

Typical exterior doors in the overall facility are aluminum type construction, installed on aluminum frames, and in poor condition. Typical exterior doors feature single insulated vision panels, and appropriate hardware.

Entrance doors in the overall facility are aluminum type construction, installed on aluminum frames, and in poor condition. Entrance doors feature single insulated vision panels, transoms, sidelights, and appropriate hardware.

The facility is equipped with one roof access door, which is in fair condition.

There are 2 overhead doors in the facility.



Exterior Door



Exterior Door

Recommendations

Replace all exterior doors due to condition.

Cost

S.	Exterior Door replacement	\$3,024.39	x	43	ea	\$ 130,048.77
	Overhead Door replacement	\$4,234.15	x	2	ea.	\$ 8,468.30
						\$ 138,517.07

ITEM T: HAZARDOUS MATERIALS

Description

The School District provided cost for asbestos and hazardous material through the consultant.

Recommendations

As per the district consultant.

Cost

T. Abatement cost	Lump sum	\$	55,000.00
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ITEM U: LIFE SAFETY

Description

No portion of the facility has fire protection.

Recommendations

Provide complete Fire Protection System for the entire facility.
Provide a new fire main from the street.

Cost

U.	Fire Line Main to Road	\$60.49 x 300	LF	\$	18,147.00
	Fire Suppressant System	\$4.54 x 64,490	SF	<u>\$</u>	<u>292,784.60</u>
				\$	310,931.60

ITEM V: LOOSE FURNISHINGS

Description

The typical Classroom furniture is of consistent design, and in generally fair condition, consisting of student desks & chairs, teacher desks & chairs, desk height file cabinets, reading tables, computer workstations, bookcases, wastebaskets, etc. The facility's furniture and loose equipment were evaluated, and on a scale of 1 to 10 the overall facility received a rating of 4 due to observed conditions, and due to the fact that it lacks some of the Design Manual required elements.



Recommendations

Provide for replacement of outdated or inadequate furnishings.



Cost

V.	Replacement of Furniture	\$8.73	x 64,490	SF	\$	562,997.70
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ITEM W: TECHNOLOGY

Description

The typical Classroom is equipped with one required data ports for teacher use.

The typical Classroom is not equipped with the required four technology data ports for student use and a 2-way PS system that can be initiated by either party to meet Ohio School Design Manual requirements.

The facility is not equipped with a centralized clock system. Specialized electrical / sound system requirements of Gymnasium, Student Dining, and Music Spaces are inadequately provided. OSDM-compliant computer network infrastructure is not provided. The facility does not contain a media distribution center, and does not provide Computer Labs for use by students.

Recommendations

Provide complete replacement of technology systems to meet Ohio School Design Manual requirements.

Cost

W.	Complete Replacement of System	\$14.51 x 64,490	SF	\$ 935,750.00
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Summary – Avon ELC

Facility Assessment	Cost
A. Heating System	\$ 3,276,736.90
B. Roofing	\$ 1,750,989.17
C. Ventilation/Air Conditioning	\$ -
D. Electrical Systems	\$ 2,243,607.10
E. Plumbing and Fixtures	\$ 640,356.33
F. Windows	\$ 459,336.15
G. Structure: Foundation	\$ -
H. Structure: Walls and Chimney	\$ 191,860.26
I. Structure: Floors and Roofs	\$ 235,000.00
J. General Finishes	\$ 2,967,778.50
K. Interior Lighting	\$ 506,891.40
L. Security Systems	\$ 300,523.40
M. Emergency/Egress Lighting	\$ 78,032.90
N. Fire Alarm	\$ -
O. Handicapped Access	\$ 420,043.41
P. Site Condition	\$ 1,455,908.11
Q. Sewage System	\$ -
R. Water Supply	\$ -
S. Exterior Doors	\$ 138,517.07
T. Hazardous Materials	\$ 55,000.00
U. Life Safety	\$ 310,931.60
V. Loose Furnishings	\$ 562,997.70
W. Technology	<u>\$ 935,750.00</u>
Subtotal:	\$16,530,260.00
X. Non-Construction Cost	<u>\$ 9,055,605.38</u>

TOTAL **\$25,585,865.38**

X.	Non-Construction Cost	
	Subtotal	\$ 16,530,260.00
	10% Design Contingency	<u>\$ 1,653,026.00</u>
	Subtotal	\$ 18,183,286.00
	10% Construction Contingency	<u>\$1,818,328.60</u>
	Subtotal	\$ 20,001,614.60
	10% Material Escalation Contingency for '24/'25	<u>\$2,000,161.46</u>
	Subtotal	\$22,001,776.06
	*16.29% Non-Construction Costs	<u>\$3,584,089.32</u>
	Total Contingency Amount	\$9,055,605.38

*Land Survey, Soil Borings/Phase 1 Environmental Report, Agency Approval Fees (Bldg. Code), Construction Testing, Printing-Bid Documents, Advertising for Bids, Builders Risk Insurance, Bond Fees, Design Professionals Compensation, CM Compensation, Commissioning and Maintenance Plan Advisor, Non-Construction Contingency.

Avon ELC Additional Costs

Avon ELC - Additional Costs

Existing 64,490 SF x \$403.97/SF =	\$26,052,025.00
Escalation '24/'25 @ 10%	<u>\$ 2,605,203.00</u>
Total Cost for New Building	\$28,657,208.00
Renovation of Current Building	\$25,585,865.00
Renovation/New Ratio	89%
Demolition: 64,490 SF x \$10.00/SF =	\$ 644,900.00
Abatement Approximately	<u>\$ 55,000.00</u>
	\$ 699,900.00
Soft Cost @ 16.29%	<u>\$ 114,014.00</u>
	\$ 813,914.00



EARLY LEARNING CENTER

AVON SCHOOL DISTRICT

OHIO SCHOOL FACILITIES COMMISSION

CONSTRUCTION DATES:

1955,1956,1961,1964,1970

ACREAGE:

30.52

TOTAL SF:

64,490

GRADES:

PRE-K AND KINDERGARTEN

CURRENT ENROLLMENT:

289

SQUARE FEET PER STUDENT:

223

DATE ISSUED:

MAY, 2023

LEGENDS:



ARCHITECTURAL VISION GROUP, LTD.
ARCHITECTS • PLANNERS
CLEVELAND, OHIO 44145

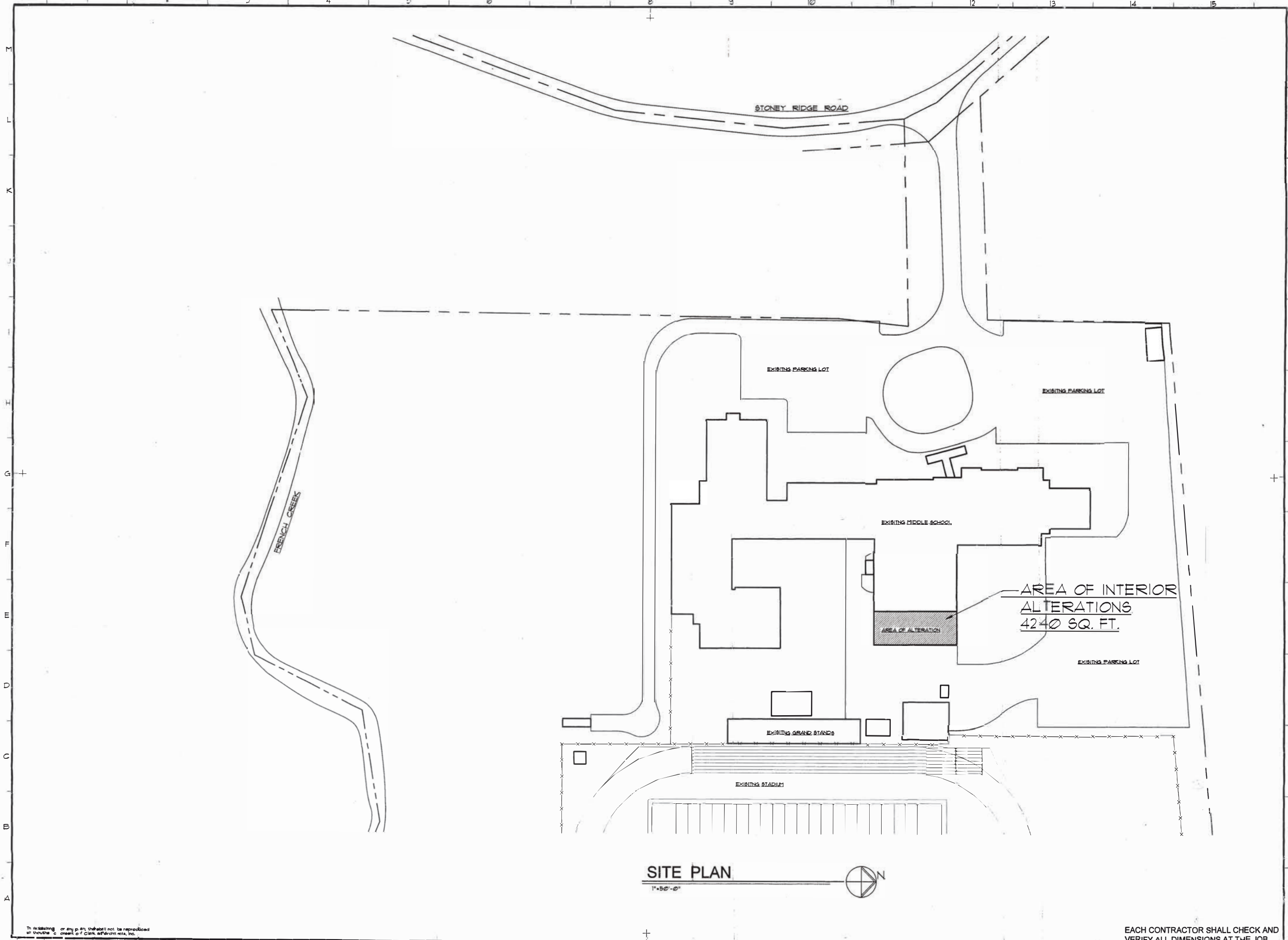
AVON EARLY LEARNING CENTER
(1955,1956,1961,1964,1970)

AERIAL SITE PLAN

SCALE: NOT TO SCALE



SHEET NO
1 OF 8



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INTERIOR ALTERATIONS TO
AVON MIDDLE SCHOOL
 FOR
SPORTS LOCKER ROOMS
 3075 STONEY RIDGE ROAD AVON, OHIO 44011

SITE PLAN

DATE: OCT. 6, 1988
 REV:

SHEET
2

OF 5
 PROJ. NO. 8828

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EARLY LEARNING CENTER

AVON SCHOOL DISTRICT

OHIO SCHOOL FACILITIES COMMISSION

CONSTRUCTION DATES:

1955,1956,1961,1964,1970

ACREAGE:

30.52

TOTAL SF:

64,490

GRADES:

PRE-K AND KINDERGARTEN

CURRENT ENROLLMENT:

289

SQUARE FEET PER STUDENT:













223

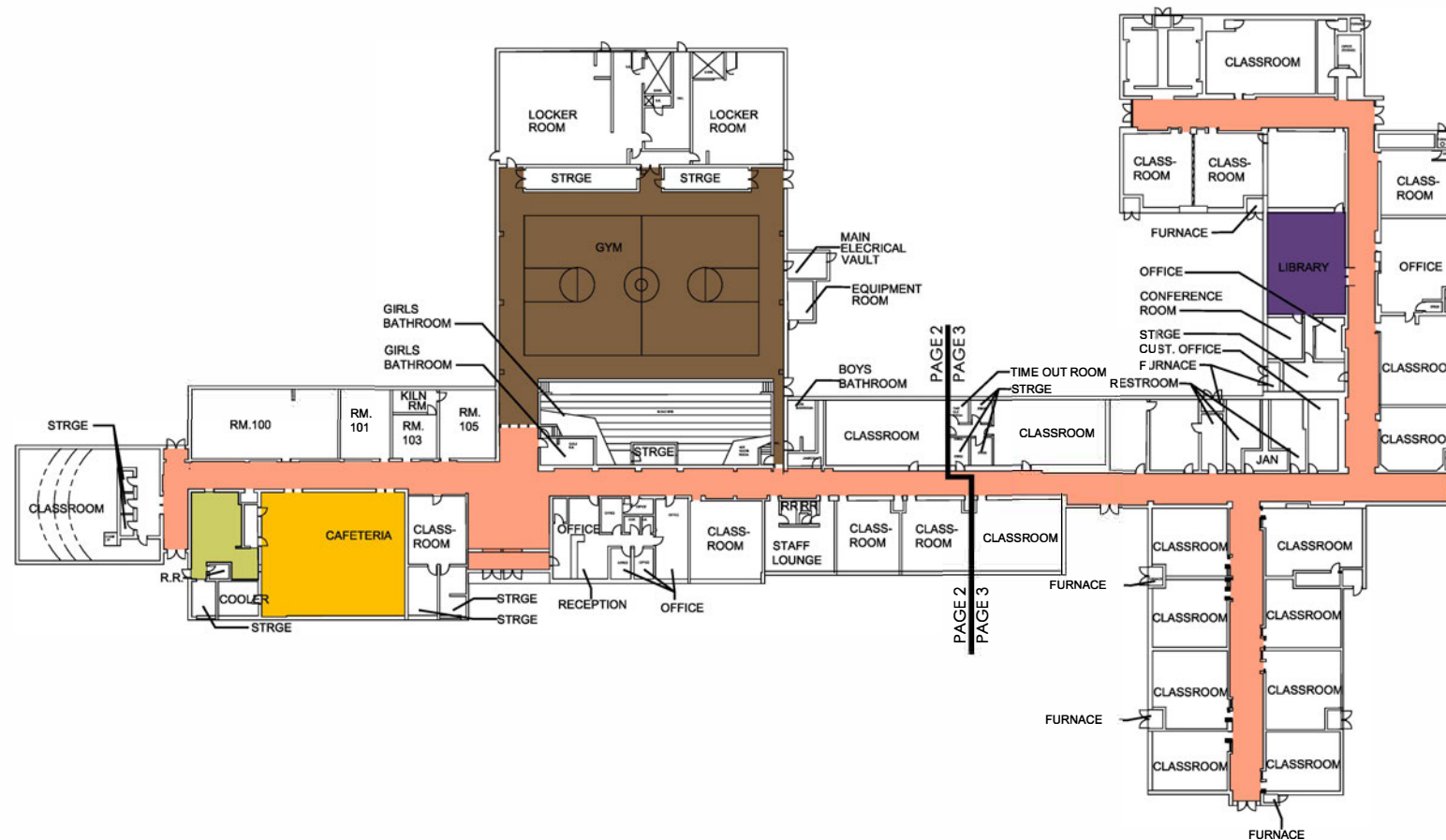
DATE ISSUED:

MAY, 2023

LEGENDS:

BUILDING COMPONENT

	CORRIDORS
	GYMNASIUM
	MEDIA CENTER
	STUDENT DINING
	KITCHEN
	CT PROGRAMS (LOW-BAY)
	CT PROGRAMS (HIGH-BAY)
	AGRICULTURAL EDUCATION LAB
	NON-DESIGN MANUAL
	UNUSABLE
	OVERSIZED
	TUNNELS



FIRST FLOOR PLAN

SCALE: 1/32" = 1'-0"

0 16' 32' 64'

ADDITION	AUDITORIUM FIXED SEATING	CORRIDORS	AGRICULTURAL EDUCATION LAB	PRIMARY GYMNASIUM	MEDIA CENTER	VOCATIONAL SPACE	STUDENT DINING	KITCHEN	NATORIUM	INDOOR TRACKS	ADULT EDUCATION	BOARD OFFICES	OUTSIDE AGENCIES	AUXILIARY GYMNASIUM
ORIG. CONS. (1955)		2,979		7,293				548						
1. ADDITION (1956)		1,316					2,247							
2. ADDITION (1961)		2,260												
3. ADDITION (1964)		1,660			989									
4. ADDITION (1970)		919												
TOTAL SF		9,138		7,293	989	16,672	2,247	548						



SHEET NO
2 OF 8

EARLY LEARNING CENTER

AVON SCHOOL DISTRICT

OHIO SCHOOL FACILITIES COMMISSION

CONSTRUCTION DATES:

1955,1956,1961,1964,1970

ACREAGE:

30.52

TOTAL SF:

64,490

GRADES:

PRE-K AND KINDERGARTEN

CURRENT ENROLLMENT:

289

SQUARE FEET PER STUDENT:













223

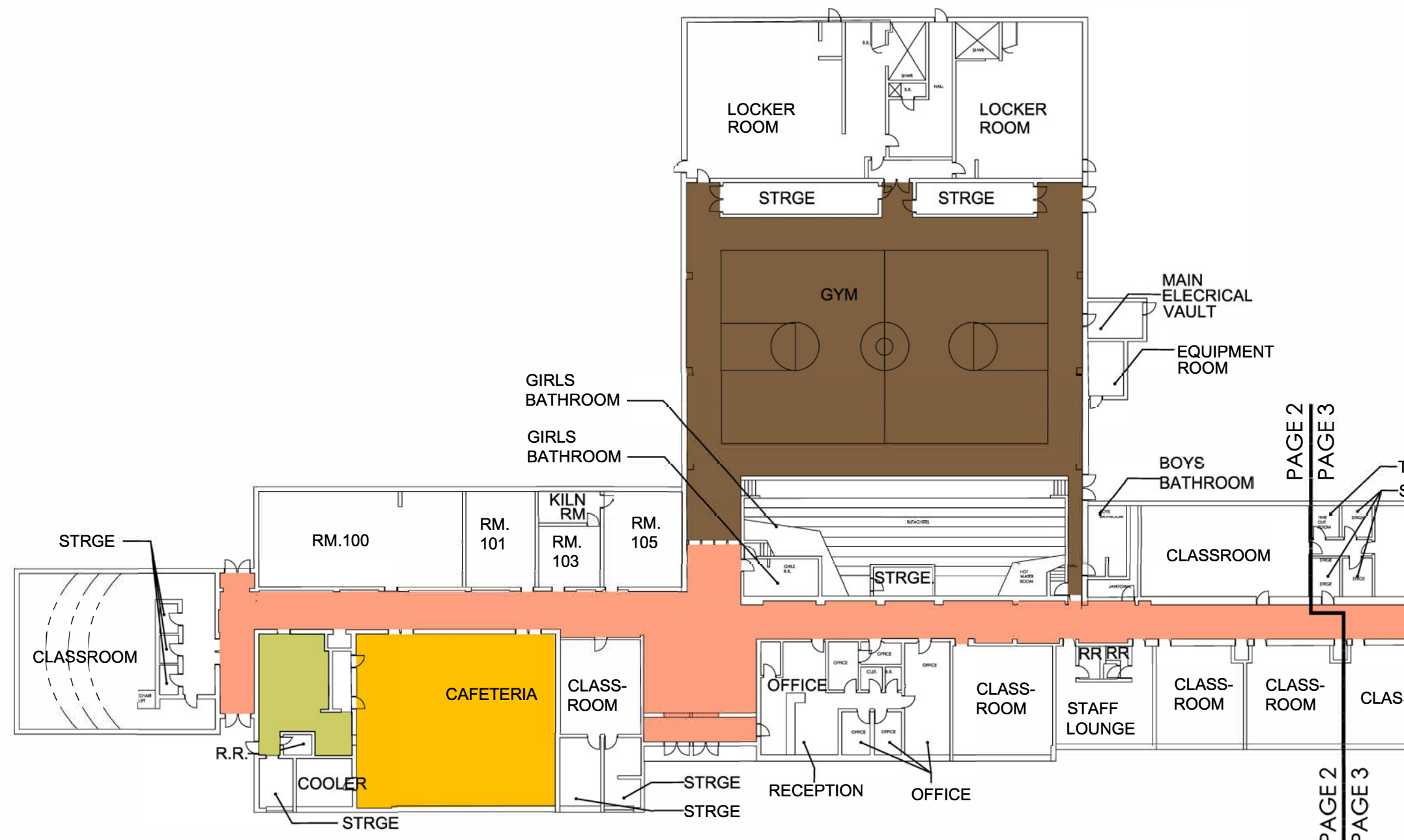
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MAY, 2023

LEGENDS:

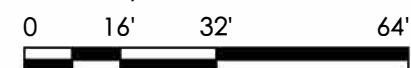
BUILDING COMPONENT

	CORRIDORS
	GYMNASIUM
	MEDIA CENTER
	STUDENT DINING
	KITCHEN
	CT PROGRAMS (LOW-BAY)
	CT PROGRAMS (HIGH-BAY)
	AGRICULTURAL EDUCATION LAB
	NON-DESIGN MANUAL
	UNUSABLE
	OVERSIZED
	TUNNELS



FIRST FLOOR PLAN

SCALE: 1/32" = 1'-0"

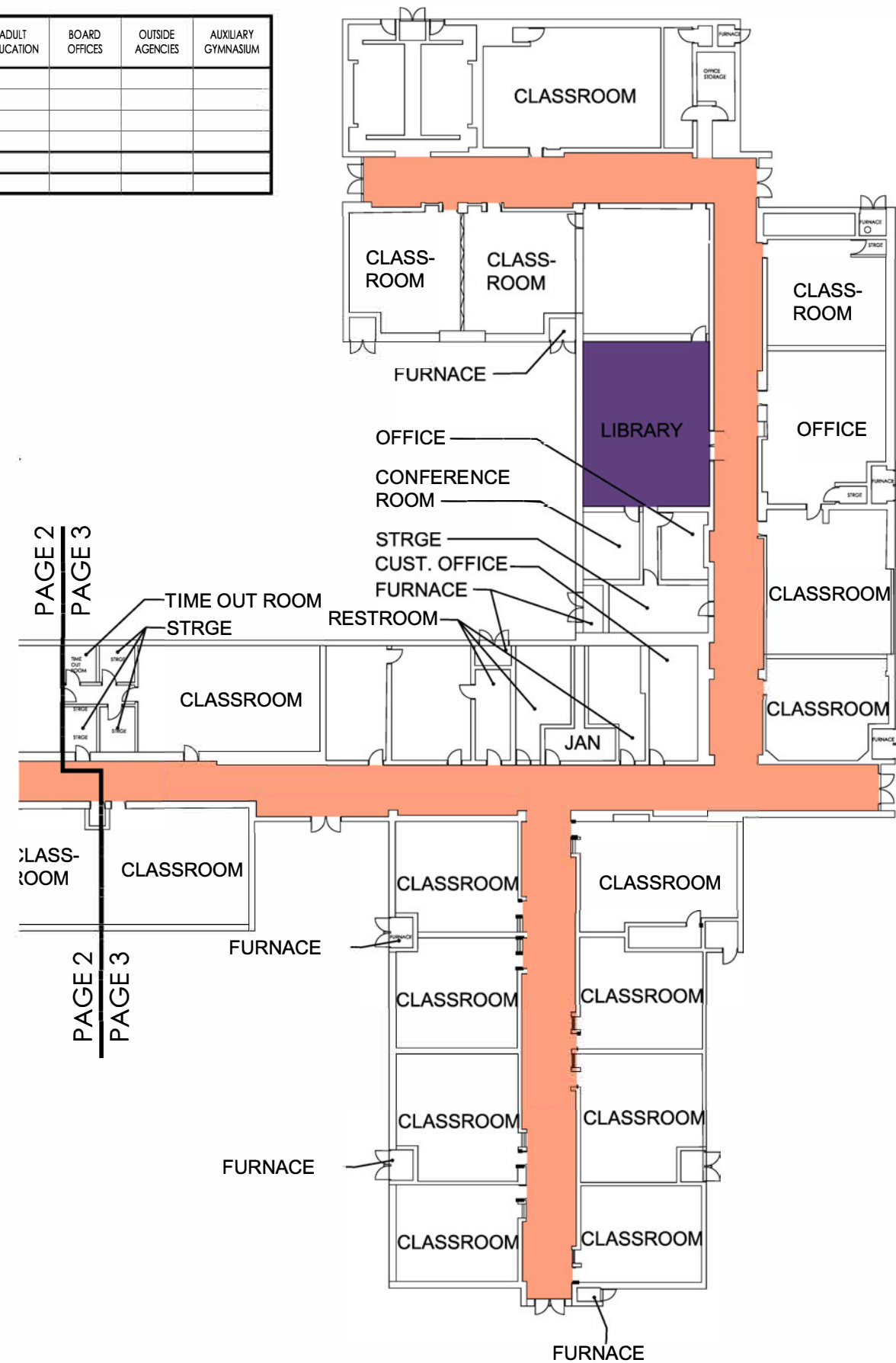


ADDITION	AUDITORIUM FIXED SEATING	CORRIDORS	AGRICULTURAL EDUCATION LAB	PRIMARY GYMNASIUM	MEDIA CENTER	VOCATIONAL SPACE	STUDENT DINING	KITCHEN	NATORIUM	INDOOR TRACKS	ADULT EDUCATION	BOARD OFFICES	OUTSIDE AGENCIES	AUXILIARY GYMNASIUM
ORIG. CONS. (1955)		2,979		7,293				548						
1. ADDITION (1956)		1,316					2,247							
2. ADDITION (1961)		2,260												
3. ADDITION (1964)		1,660			989									
4. ADDITION (1970)		919												
TOTAL SF		9,138		7,293	989	16,672	2,247	548						



SHEET NO
3 OF 8

ADDITION	AUDITORIUM FIXED SEATING	CORRIDORS	AGRICULTURAL EDUCATION LAB	PRIMARY GYMNASIUM	MEDIA CENTER	VOCATIONAL SPACE	STUDENT DINING	KITCHEN	NATATORIUM	INDOOR TRACKS	ADULT EDUCATION	BOARD OFFICES	OUTSIDE AGENCIES	AUXILIARY GYMNASIUM
ORIG. CONS. (1955)		2,979		7,293				548						
1. ADDITION (1956)		1,316					2,247							
2. ADDITION (1961)		2,260												
3. ADDITION (1964)		1,660			989									
4. ADDITION (1970)		919												
TOTAL SF		9,138		7,293	989	16,672	2,247	548						



EARLY LEARNING CENTER

AVON SCHOOL DISTRICT

OHIO SCHOOL FACILITIES COMMISSION

CONSTRUCTION DATES:

1955,1956,1961,1964,1970

ACREAGE:

30.52

TOTAL SF:

64,490

GRADES:

PRE-K AND KINDERGARTEN

CURRENT ENROLLMENT:

289

SQUARE FEET PER STUDENT:

223

DATE ISSUED:

MAY, 2023

LEGENDS:

BUILDING COMPONENT	
	CORRIDORS
	GYMNASIUM
	MEDIA CENTER
	STUDENT DINING
	KITCHEN
	CT PROGRAMS (LOW-BAY)
	CT PROGRAMS (HIGH-BAY)
	AGRICULTURAL EDUCATION LAB
	NON-DESIGN MANUAL
	UNUSABLE
	OVERSIZED
	TUNNELS



FIRST FLOOR PLAN

SCALE: 1/32" = 1'-0"

0 16' 32' 64'



SHEET NO
4 OF 8

EARLY LEARNING CENTER

AVON SCHOOL DISTRICT

OHIO SCHOOL FACILITIES COMMISSION

CONSTRUCTION DATES:

1955,1956,1961,1964,1970

ACREAGE:

30.52

TOTAL SF:

64,490

GRADES:

PRE-K AND KINDERGARTEN

CURRENT ENROLLMENT:

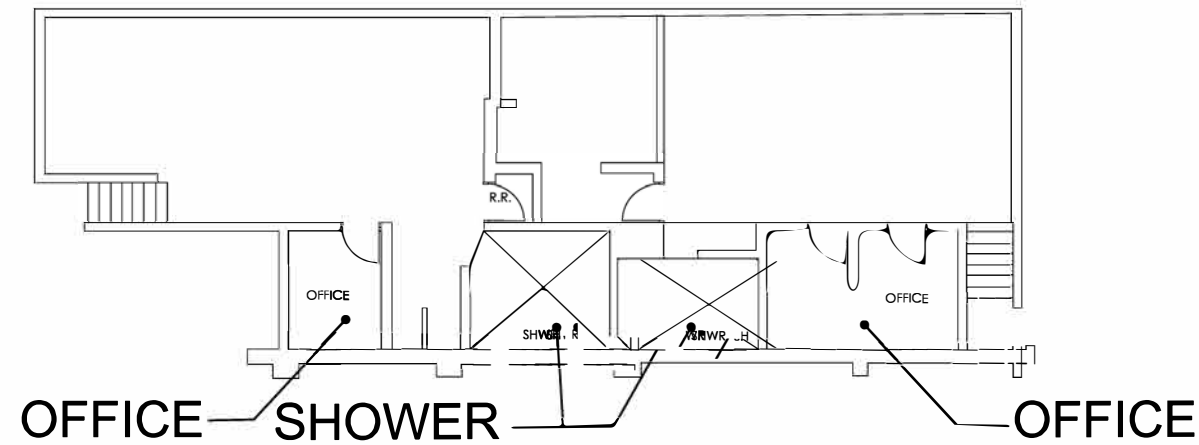
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SQUARE FEET PER STUDENT:

223

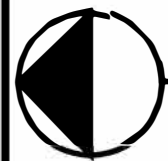
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MAY, 2023



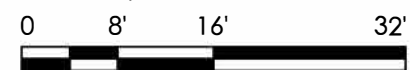
LEGENDS:

BUILDING COMPONENT	
	CORRIDORS
	GYMNASIUM
	MEDIA CENTER
	STUDENT DINING
	KITCHEN
	CT PROGRAMS (LOW-BAY)
	CT PROGRAMS (HIGH-BAY)
	AGRICULTURAL EDUCATION LAB
	NON-DESIGN MANUAL
	UNUSABLE
	OVERSIZED
	TUNNELS



BASEMENT FLOOR PLAN

SCALE: 1/16" = 1'-0"



ADDITION	AUDITORIUM FIXED SEATING	CORRIDORS	AGRICULTURAL EDUCATION LAB	PRIMARY GYMNASIUM	MEDIA CENTER	VOCATIONAL SPACE	STUDENT DINING	KITCHEN	NATATORIUM	INDOOR TRACKS	ADULT EDUCATION	BOARD OFFICES	OUTSIDE AGENCIES	AUXILIARY GYMNASIUM
ORIG. CONS. (1955)		2,979		7,293				548						
1. ADDITION (1956)		1,316					2,247							
2. ADDITION (1961)		2,260												
3. ADDITION (1964)		1,660			989									
4. ADDITION (1970)		919												
TOTAL SF		9,138		7,293	989	16,672	2,247	548						



SHEET NO
5 OF 8

EARLY LEARNING CENTER

AVON SCHOOL DISTRICT

OHIO SCHOOL FACILITIES COMMISSION

CONSTRUCTION DATES:

1955,1956,1961,1964,1970

ACREAGE:

30.52

TOTAL SF:

64,490

GRADES:

PRE-K AND KINDERGARTEN

CURRENT ENROLLMENT:

289

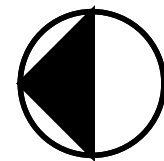
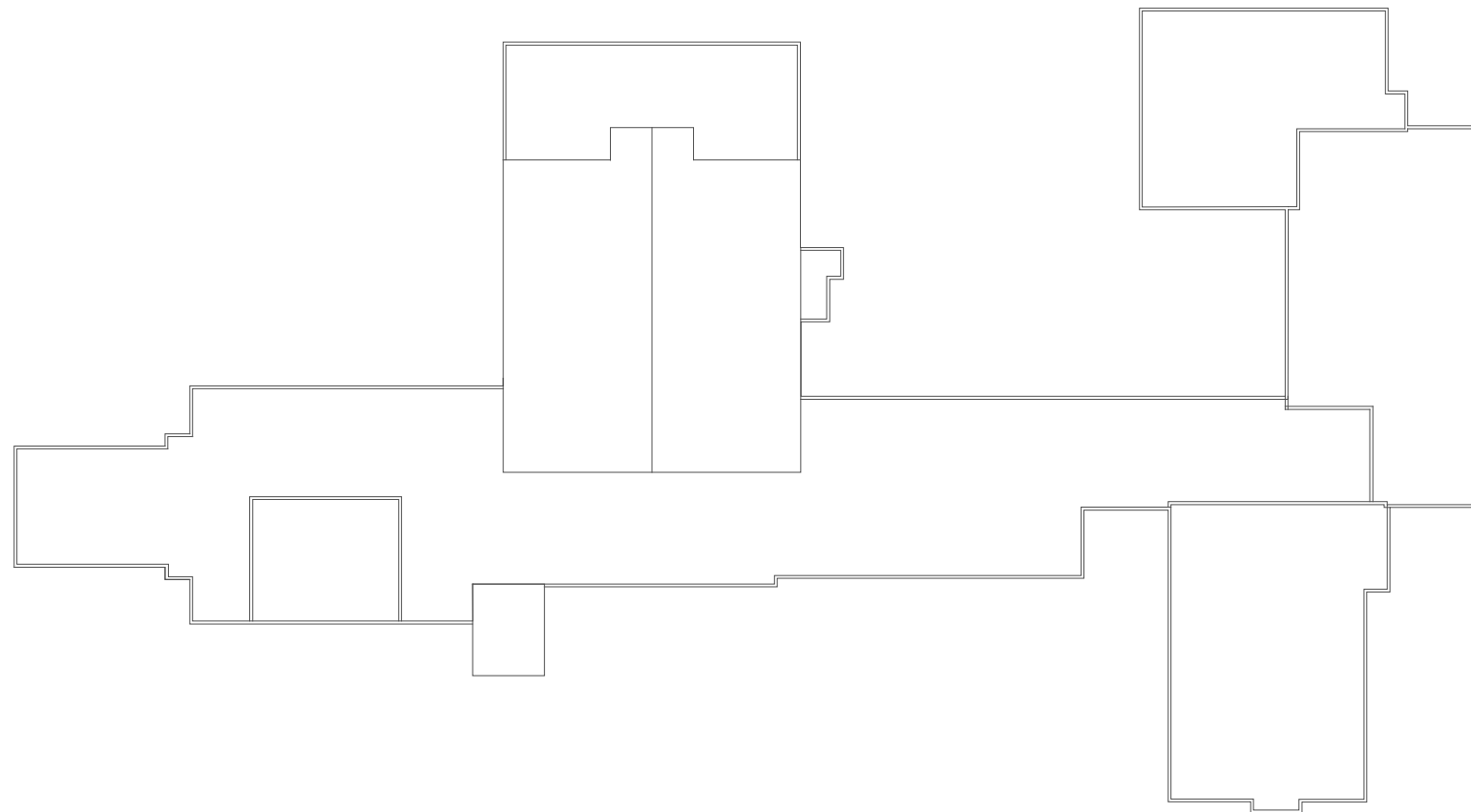
SQUARE FEET PER STUDENT:

223

DATE ISSUED:

MAY, 2023

LEGENDS:



ROOF PLAN

SCALE: 1/64" = 1'-0"

0 32' 64' 128'



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CLEVELAND, OHIO 44145

SHEET NO

6 OF 8

EARLY LEARNING CENTER

AVON SCHOOL DISTRICT

OHIO SCHOOL FACILITIES COMMISSION

CONSTRUCTION DATES:

1955,1956,1961,1964,1970

ACREAGE:

30.52

TOTAL SF:

64,490

GRADES:

PRE-K AND KINDERGARTEN

CURRENT ENROLLMENT:

289






SQUARE FEET PER STUDENT:

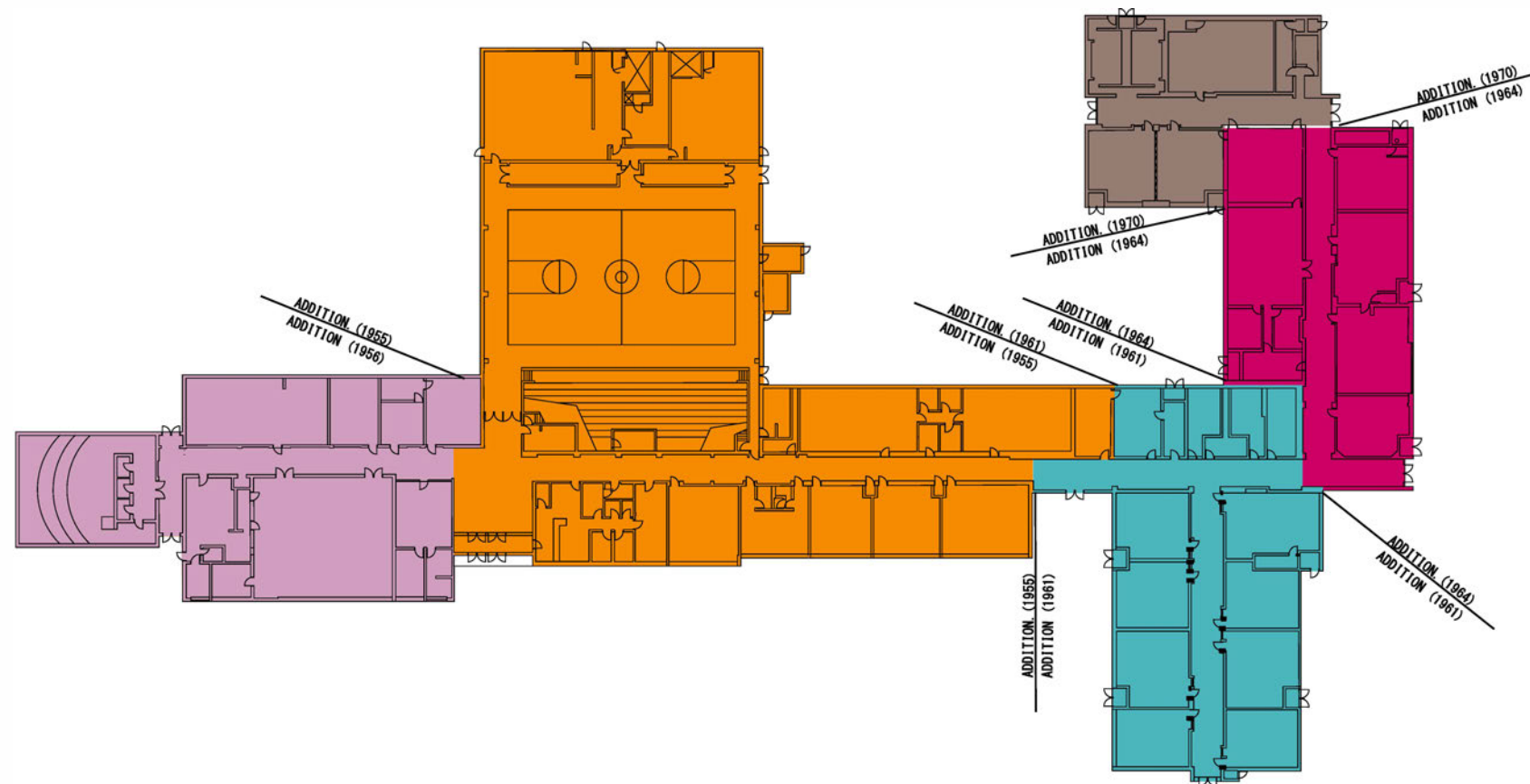
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DATE ISSUED:

MAY, 2023

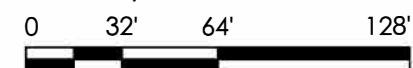
LEGENDS:

CONSTRUCTION DATES	
	ORIGINAL (1955)
	1. ADDITION (1956)
	2. ADDITION (1961)
	3. ADDITION (1964)
	4. ADDITION (1970)



ADDITION PLAN FIRST FLOOR

SCALE: 1/64" = 1'-0"



SHEET NO
7 OF 8

EARLY LEARNING CENTER

AVON SCHOOL DISTRICT

OHIO SCHOOL FACILITIES COMMISSION

CONSTRUCTION DATES:

1955,1956,1961,1964,1970

ACREAGE:

30.52

TOTAL SF:

64,490

GRADES:

PRE-K AND KINDERGARTEN

CURRENT ENROLLMENT:

289






SQUARE FEET PER STUDENT:

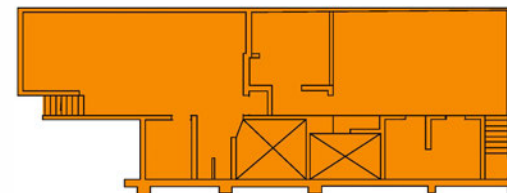
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DATE ISSUED:

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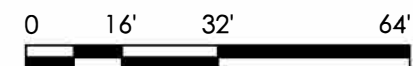
LEGENDS:

CONSTRUCTION DATES	
	ORIGINAL (1955)
	1. ADDITION (1956)
	2. ADDITION (1961)
	3. ADDITION (1964)
	4. ADDITION (1970)



ADDITION PLAN BASEMENT

SCALE: 1/32" = 1'-0"



SHEET NO
8 OF 8

Avon Local Schools

FACILITY ASSESSMENT REPORT

Building Assessment

Avon Board of Education



General Description



The Avon Board of Education, which is not on the National Register of Historic Buildings, and originally constructed in 1927 with additions in 1949, 1950, and 1957, with partial major renovations in 2015, is a 3-story, 49,221 square foot brick school building located in a suburban residential and commercial setting. The existing facility features a conventionally partitioned design, and does not utilize modular buildings. The building currently holds the Avon Board of Education as well as a local alternative school for grades 3 thru 12.

The structure of the contains brick and masonry type exterior wall construction, with masonry and plaster type wall construction in the interior. The roof structure is tectum deck on steel. The roofing system of the overall facility is EPDM, installed in 2005. The ventilation system of the building is inadequate to meet the needs of the users.

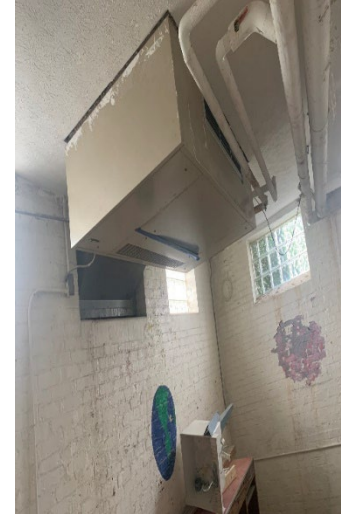
The Classrooms are undersized in terms of the current standards established by the State of Ohio. Physical Education and Student Dining spaces consist of one Gymnasium and no student dining. Student dining was converted into offices during the 2015 renovations. The electrical system for the facility is inadequate. The facility is equipped with a non-compliant security system. The building has a non-compliant manual fire alarm system. The facility is not equipped with an automated fire suppression system. The building is reported to contain asbestos and other hazardous materials. The overall building is not compliant with ADA accessibility requirements.

The school is located on a 6.94 acre site adjacent to residential and commercial properties. The property and playgrounds and athletic facilities are partially fenced for security. Access onto the site is unrestricted. Site circulation is poor. There is no dedicated space for school buses to load and unload on the site. Parking for staff, visitors and community events is adequate.

ITEM A: HEATING SYSTEM

Description

The original building was built in 1927 with the addition occurring in 1970. The heating for the entire facility occurs from 2 gas-fired, hot water boilers that appear to be over 30 years old. These boilers provide heating hot water to cabinet unit heaters, unit heaters, unit ventilators, connectors, radiators, multizone air handling units, and other miscellaneous type heating devices. The 1970 addition utilizes packaged terminal heating and air conditioning units. The interior office and workspace area of this addition was renovated in 2015. This space has ducted fan coil units that have hot water heating coils and DX cooling coils with condensing units located on the roof. None of the systems appear to provide adequate ventilation to meet codes. In addition, all the heating equipment and terminal devices are at the end of their life expectancy and should be replaced.



Unit Ventilator
Ceiling Mounted

There is no central energy recovery system or separate control for each space. The entire temperature control system is pneumatic and should be updated.

Recommendations

Provide overall new heating systems that will also include a central air conditioning system. Provide funding for upgrading the non-ducted system to a ducted system throughout the facility.



Hot Water Boilers

Cost

A.	HVAC System Replacement	\$50.81 x 49,221	SF	\$ 2,500,919.01
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ITEM B: ROOFING

Description

The roof over the overall facility is an EPDM system that was installed in 2005, and is in poor condition. There are District reports of current leaking. The assessment was conducted the day after a large rain event and new leaking was witnessed in the south east area of the 1929 addition. The leaking was so severe that ceiling tiles were so inundated by water that they fell from the grid to the floor. Signs of past leaking were observed during the physical assessment. Access to the roof was gained by portable ladder to the side of the building. Other roof levels were not easily accessible.



Roof

There were observations of standing water on the roof. Metal cap flashings and stone copings are in fair condition but will need replaced as the roof is replaced. Roof storm drainage is addressed through a system of gutters and downspouts and roof drains, which are properly located, and in poor condition. Canopies over entrances do not have any manner of drainage which results in water pooling up and overflowing to the ground below, creating wash-out. The roof is not equipped with overflow roof drains though they will be required in areas of roof replacement.



Standing water on Roof

No problems requiring attention were encountered with any roof penetrations.

There are not any covered walkways attached to this structure.

Recommendations

The roof over the overall facility requires replacement to meet Ohio School Design Manual guidelines for age of system. Due to the roof replacement, roof drains require replacement and overflow drains will be required to be added. Coping and flashing should be replaced as well due to roof replacement. Roof ladders should be added for access to all roofs, as well as roof hatch to safely access the roofs. Gutters should be added to canopies over entrances.

Cost

B.	TPO Membrane Replacement	\$18.69 x 22,093	SF	\$	412,918.17
	Tapered Insulation	\$5.58 x 22,093	SF	\$	123,278.94
	Replace Deck	\$6.35 x 500	SF	\$	3,175.00

Flashing/Coping	\$22.26 x 1,188	LF	\$	26,444.88
Replace Roof Drains	\$1,451.25 x 13	ea	\$	18,866.25
OF Drains	\$3,629.27 x 13	ea	\$	47,180.51
Gutters and Downspouts	\$20.00 x 200	LF	\$	4,000.00
Roof Access Ladders	\$120.98 x 40	LF	\$	4,839.20
Roof Hatch	\$3,000.00 x 1	ea	\$	3,000.00
			\$	643,702.95

ITEM C: AIR CONDITIONING

Description

Areas of the 1927 original building have portable air conditioning units along with mini split units and through the wall AC units. None of these units have ventilation capabilities or are viable for a board office application. The 1970 addition utilizes package terminal units and an outdoor condensing unit. General toilet exhaust is present and working in all restrooms, janitor's closets and storage areas.

There are no art rooms or specialty classrooms or exhaust that is present or that is needed.



Mini Split A/C Unit

Recommendations

Update entire system as noted in Item A- Heating.

Cost

C. No Work required



Portable A/C Unit

ITEM D: ELECTRICAL

Description

The electrical system provided to the building is a single service split outside to feed the 1927 original construction and the 1970 addition. The service is a 120/208 volt, 600 amp, 3 phase, 4 wire system and is in good condition. The main distribution panel located in the Maintenance Office of the original 1927 construction was updated to an I-Line style panelboard in 2016, and is 120/208 volt, 600 amp, 3 phase, 4-wire, is in good condition, and can be expanded to add additional capacity. This panelboard feeds the panel system in the 1970 addition. The panel system below the stage in the 1927 addition are most likely original to the building, manufactured by Frank Adam Electric Co., are in poor condition, and cannot be expanded to add additional capacity. The location of these panels below the stage is not suitable for electric panels as there is standing water on the floor in the access space, insufficient clearance around the panelboards, and unsuitable access to the space.

The Classrooms are not equipped with adequate electrical outlets. The typical Classroom contains 4 general purpose outlets, no dedicated outlets for Classroom computers, and no dedicated outlets for each Classroom television. Some Classrooms are equipped with as many as 5 general purpose outlets, while others are equipped with as few as 3 general purpose outlets. There are not any spaces that have no electrical outlets.

The Corridors in the 1927 original construction are not equipped with adequate electrical outlets for servicing. The Corridors in the 1970 addition are equipped with adequate electrical outlets for servicing. Adequate GFI protected exterior outlets are not provided around the perimeter of the building. The building is not equipped with an emergency generator. Adequate lightning protection safeguards are not provided.

Stage lighting power system including control panel, breakers, and dimmers is not provided.

The overall electrical system for the 1970 addition meets Ohio School Design Manual requirements in supporting the current needs of the school, and will be adequate to meet the facility's future needs.

The overall electrical system for the 1927 original building does not meet Ohio School Design Manual requirements in supporting the current needs of the school, and will be inadequate to meet the facility's future needs.

The electric service to the building does meet Ohio School Design Manual requirements in supporting the current needs of the school, but will be inadequate to meet the facility's future needs.

Recommendations

The entire electrical system in the 1927 construction requires replacement to meet Ohio School Design Manual guidelines for overall capacity, classroom capacity, due to condition and age, and to accommodate the addition of an air conditioning system.

The electric service to the building requires replacement to meet Ohio School Design Manual guidelines for overall capacity and to accommodate the addition of an air conditioning system. The electrical system for the 1970 addition will require connection to the new electric service.

Provide an emergency generator, with funding included in the electrical system replacement.

Provide adequate lightning protection safeguards in the overall facility, including associated grounding system, with funding included in the electrical system replacement.

Provide control panel, dimmers, and breakers to support the Stage lighting system.

Cost

D.	System Replacement	\$34.79 x 49,221	SF	\$	1,712,398.59
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ITEM E: PLUMBING

Description

The incoming water service line for both the original 1927 building and the 1970 addition is a 2" line and does not have the required backflow preventer with the age of both the underground sanitary lines and the water lines. The piping should be replaced throughout the building.

There is 1 40-gallon electric water heater serving the gym and locker room area and 1 200-MBH gas-fired domestic water heater serving the 1970 addition. Both are in poor condition and should be replaced. During the walkthrough, District personnel stated that the overall sanitary system had problems and should be replaced due to the age and condition.

In addition, the water piping should be replaced due to its age and condition.

There is one domestic hot water boiler along with a 500-gallon (estimated) storage tank that appears to be over 30 years old and should be replaced.

There are 2 full size group restrooms for the girls and 2 group restrooms for the boys. These restrooms contain: 14 wall hung water closets with automatic flush valves, 6 wall hung urinals with manual flush valves, 4 floor mount urinals with manual flush valves and 14 wall hung lavatories with manual faucets. In addition, there is a group restroom in the PK classroom wing for both the girls and boys. These restrooms contain the following: 7 floor mounted water closets with automatic flush valves, 4 floor mounted urinals with manual flush valves, 1 wall hung urinal with manual flush valve and 8 wall hung lavatories with automatic faucets. All of the fixtures in the PK classroom areas are kid size.

There is one locker room for girls and one for boys. These contain 2 wall-hung lavatories and 17 showers. There are 3 staff restrooms that contain 4 wall hung water closets (2 with manual flush valves and 2 with automatic flush valves) and 4 countertop lavatories with manual faucets. There is 1 special education classroom that contains 1 floor mount, tank-type water closet, 1 wall-hung lavatory with manual faucet and 1 shower.

With the age of the fixtures, all of the fixtures should be replaced with low flow type.



Special Education Rest Room



(3) Compartment Sink w/Grease Trap



Kitchen Hot Water Heater

There are 5 electric water coolers, 2 are old and should be replaced. Only one PK classroom has a sink with a bubbler drinking fountain. No other classroom has a sink or drinking fountain.

The kitchen has the required staff restroom (counted above) and the following kitchen fixtures: 3 bowl sink, single bowl sink, in-floor grease trap, and a kitchen domestic water heater (50-gallon) that appears to be about 5 years old and in fair shape.



PK Group Restroom

Recommendations

- Remove/Replace domestic hot water boiler system.
- Remove/Replace all underground sanitary piping.
- Remove/Replace all water lines due to age and condition.
- Remove/Replace 26 water closets.
- Remove/Replace 15 urinals.
- Remove/Replace 29 lavatories.
- Remove/Replace 2 electric water coolers.
- Add 25 classroom sink and bubbler drinking fountains.

Cost

E.	Replace Domestic Water Heater	\$12,000.00 x 1	unit	\$	12,000.00
	Remove/replace 26 water closets	\$1,814.64 x 26	unit	\$	47,180.64
	Remove/replace 15 urinals	\$1,814.64 x 15	unit	\$	27,219.60
	Remove/replace 29 lavatories	\$1,814.64 x 29	unit	\$	52,624.56
	Remove/replace EWC w/bottle filler	\$3,629.27 x 2	unit	\$	7,258.54
	Replace all Domestic Water Piping	\$4.23 x 49,221	SF	\$	208,204.83
	Replace all underground San. Piping	\$4.23 x 49,221	SF	\$	208,204.83
				\$	562,693.00

ITEM F: WINDOWS

Description

The 1957 Addition is equipped with thermally broken aluminum frame windows with double glazed insulated glazing type window system, which was installed in 2015, and is in fair condition. The window system features operable windows throughout the addition, and operable windows are equipped with opening limiters in fair condition and insect screens are not present. Window system seals are in good condition, with no air and water infiltration being experienced. Window system hardware is in good condition. The window system features surface mounted blinds, which are in fair condition.



First Floor Windows

The 1929, 1949, and 1950 Additions are equipped with non-thermally broken aluminum frame windows with double pane glazing type window system, whose installation date is unknown but is not original to the building, and is in fair condition. The window system features operable windows in most of the building, and operable windows are equipped with opening limiters but no insect screens are present. Window seals are in fair condition with no air and water infiltration being experienced. Window system hardware is in poor condition. The window system features surface mounted blinds where blinds are present. Not all rooms or windows feature blinds.



Second Floor Windows

The 1929 main entrance is equipped with a delicate gothic glazing system that may be an iron frame. It is in poor condition and is single pane glazing that is not thermally broken. This should be replaced with care and possibly restored to resemble the original design. There are glass block windows in the 1929 Addition, in poor condition.

The exterior doors in the 1957 Addition are equipped with thermally broken aluminum frame sidelights and transoms with double glazed insulated glazing, in fair condition. Exterior door vision panels are double glazed insulated glazing.

The exterior doors in the 1929, 1949, and 1950 Additions are equipped with non-thermally broken steel frame sidelights and transoms with single pane non-insulated glazing in poor condition. Exterior door vision panels are single pane non-insulated glazing.

The school does not contain skylights. The school does not contain any clerestories. Interior glass is OSDM-compliant. Window security grilles are not provided for ground floor windows. There is not a Greenhouse associated with this school.

Recommendations

Provide a new insulated window system with integral blinds to meet with Ohio School Design Manual requirements.

Replace the 1929 entrance with a storefront system that resembles the original design.

Replace entry storefront in the 1949 and 1950 Additions.

Exterior door vision panel replacement is addressed in Item S in exterior door replacement scope.

Cost

F.	Window Replacement	\$122.85 x 4,095	SF	\$	503,070.75
	Storefront Replacement	\$69.56 x 1,500	SF	\$	104,340.00
	1929 Storefront Replacement and Associated Work	Lump Sum		\$	115,000.00
				\$	722,410.75

ITEM G: STRUCTURE – FOUNDATION

Description

The overall facility is equipped with concrete masonry unit foundation walls on concrete footings, which displayed no locations of significant differential settlement, or cracking, and are in fair condition. No significant issues related to foundation cracking or spalling were encountered. The District reports that there has been past leaking at the northern side of the 2015 renovations as well as the southern side of the 1957 Addition. The exterior grading between additions, specifically between the 1957 Addition and the 1950 Addition slopes towards the buildings. This grading, as well as an undersized catch basin, leads to water infiltration at the building during large rain events. The day of the assessment showed water infiltration at the main floor level, as well as water infiltration below grade in the main electrical room.



Recommendations

Provide membrane waterproofing system and drainage throughout the lower level.
Provide drainage tile system as indicated in the description above as having flooded.
Additional water control to be provided for in Item P.

Cost

G.	Membrane Waterproofing	\$11.49 x 49,221	SF	\$	565,549.29
	Drainage Tiles	\$21.78 x 960	LF	\$	20,908.80
				\$	586,458.09

ITEM H: STRUCTURE (WALLS AND CHIMNEYS)

Description

The overall facility has a brick veneer on load bearing masonry wall system, which displayed locations of deterioration, and is in generally poor condition. Control joints are not provided at lintel locations, at doors and windows, building corners, and wall offsets though most areas do not indicate that this would be needed. The school does not contain expansion joints and none are needed, as there is no indication of exterior masonry cracking or separation at appropriate locations. There was one location of major exterior wall cracking in the south east corner to the 3 story portion of the 1929 addition. No interior evidence of this cracking was found due to built-in casework at that location. Structural investigation is needed to determine the cause and extent of this cracking.



Exterior Walls of Building

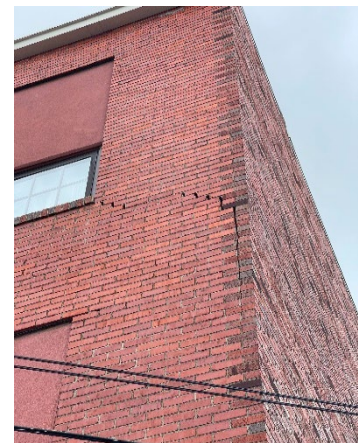
Brick veneer masonry walls are not cavity walls.

Weep holes and vents are provided and are not required due to masonry walls not being cavity walls.

The areas of the 2015 renovations have been cleaned and tuckpointed, but the remainder of the building does not seem to have been cleaned or sealed.

The exterior masonry has not been cleaned and sealed in recent years, and shows evidence of mortar deterioration in all other locations. Architectural exterior accent materials consist of stone and EIFS, which are in poor condition.

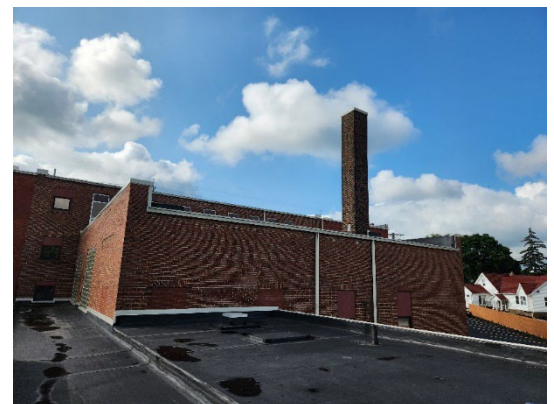
Installation of new HVAC systems will result in removal of any existing unit ventilators, necessitating the exterior masonry infill of associated exterior wall voids from vents.



Cracking in Brick Exterior

Interior walls are concrete masonry units and metal stud framed partitions with plaster or gypsum board and are in fair to poor condition. Interior soffits are of gypsum board or plaster type construction, and in fair to poor condition.

The window sills are brick or stone, and are in mostly poor condition. The exterior lintels are steel, and are rusting in most locations. Chimneys are in poor condition requiring much tuckpointing and possibly partial rebuilding if the HVAC system were to remain as is. *Chimneys will not be needed with the new HVAC system proposed in Item A and therefore should be removed.* Canopies over entrances are metal panel type construction, and are in fair condition. Exterior soffits are of cement plaster type construction, and in fair to poor condition, requiring cleaning and re-painting.



Roof and Chimney

The school is not equipped with a loading dock.

Recommendations

Provide tuckpointing in all areas of mortar deterioration as required through the overall facility.

Provide masonry cleaning, sealing, and caulking as required through the overall facility.

Replace masonry lintels as required through the overall facility.

Replace steel lintels throughout the overall facility, and prep and paint steel lintels that are not currently rusting.

Provide an aluminum sill for locations of masonry sills to protect masonry walls.

Provide for infill at unit ventilator locations.

Provide for structural investigation at the cracking location discussed above.

Provide for demolition of chimneys.

Cost

H.	Tuckpointing	\$9.08 x 18,000	SF	\$	163,440.00
	Cleaning	\$1.82 x 22,212	SF	\$	40,425.84
	Sealing	\$1.21 x 22,212	SF	\$	26,876.52
	Replace Sills	\$54.44 x 513	LF	\$	27,927.72
	Replace Lintel	\$302.44 400	LF	\$	120,976.00
	Recaulk Joints	\$9.08 x 100	LF	\$	908.00
	Clean and Repaint Soffits	Lump Sum		\$	10,000.00
	Infill at Unit Ventilator	\$69.00 x 1,300	SF	\$	89,700.00
	Demolition of Chimney	Lump Sum		\$	75,000.00
	Structural Investigation	Lump Sum			30,000.00
				<u>\$</u>	585,254.08

ITEM I: STRUCTURE (FLOORS & ROOFS)

Description

The floor construction of the base floor of the overall facility is concrete slab on grade type construction, and is in fair condition. There is no crawl space.

The floor construction of the intermediate floors of the 1929 Addition is tectum deck on steel beams type construction, and is in fair condition.

The floor construction of the intermediate floors of the 1950 Addition is unknown, but no issues were found or reported.

Ceiling to structural deck spaces are sufficient to accommodate HVAC, electrical, and plumbing scopes of work in required renovations to the 1924 and 1950 additions. Ceiling to structural deck spaces are insufficient to accommodate HVAC, electrical, and plumbing scopes of work in the 1957 Addition.

The roof construction of the 1949 Addition is tectum deck on steel joist type construction, and is in fair condition. There may be water damage to tectum deck in the location that leaking was observed. In this instance replacement of the tectum deck should be provided for.

The roof construction of the 1957 Addition is metal deck on steel joist type construction, and is in good condition.

Recommendations

Refer to Item A for funding of architectural soffits to accommodate HVAC, electrical, and plumbing scopes of work. Provide for replacement of tectum deck in water damaged areas.

Cost

I.	Tectum Deck Replacement	Allowance	\$100,000.00
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ITEM J: GENERAL FINISHES

Description

The overall facility features conventionally partitioned Classrooms with VCT or wood type flooring, lay-in ACT or plaster type ceilings, as well as plaster or wood paneling and plaster type wall finishes, and they are in poor condition. The overall facility has Corridors with VCT and terrazzo and plaster type wall finishes, and they are in fair to poor condition. The overall facility has Restrooms with tile type flooring, lay-in ACT type ceilings, as well as tile and plaster type wall finishes, and they are in fair to poor condition. Toilet partitions are composite, and are in fair to poor condition.



Classroom Original Building

The Board of Education features offices with carpet type flooring, lay-in ACT type ceilings, as well as gypsum board type wall finishes, and they are in good condition. The BOE has Corridors with carpet and VCT type flooring, lay-in ACT type ceilings, as well as gypsum board and CMU type wall finishes, and they are in good condition. The BOE has restrooms with tile type flooring, lay-in ACT ceilings, as well as tile type wall finishes, and they are in good condition.



Office in New Addition

Classroom casework in the overall facility is wood type construction with plastic laminate tops, is inadequately provided, and in poor condition. Classrooms are not provided adequate chalkboards, markerboards, or tackboards which are in poor condition. No student storage is provided. There is no art room provided in the facility.

The facility is equipped with wood louvered and non-louvered interior doors that are flush mounted without proper ADA hardware and clearances, and in poor condition.

The Gymnasium space has wood type flooring, plaster type ceilings, as well as painted CMU type wall finishes, and they are in poor condition. Wood Gymnasium flooring has not been well maintained, will accommodate minimal future sandings and refinishings, and is rated at an advanced stage of its product lifecycle. Gymnasium concrete fixed stands are wood type construction in poor condition. Gymnasium basketball backboards are fixed type, and are in poor condition. There is no media center or student dining in this facility. OSDM-required fixed equipment for Stage is inadequately provided, and in poor condition. Existing Gymnasium space is inadequately provided with appropriate sound attenuation acoustical surface treatments.

There is no kitchen in this facility. If the facility were to become a full educational facility, a new full-service kitchen would be required to be provided.

Recommendations

Provide complete replacement of finishes and casework due to installation of systems outlined in Items A, C, D, E, I, K, L, M, N, T, U, and W.

Funding for replacement of interior doors is provided in Item O, including doors here noted as being in poor condition.

Provide for equipment for a full-service kitchen. Provide equipment and finishes for an art and music space.

Cost

J. Complete Replacement of Finishes	\$33.57	x 49,221	SF	\$	1,652,348.97
Replacement/Addition of Kitchen Equipment	Lump Sum			\$	200,000.00
Renovation for Art and Music Spaces	Lump Sum			\$	115,000.00
Renovation of BOE Spaces for Classrooms	Lump Sum			\$	100,000.00
Plumbing Renovations	Allowance			\$	150,000.00
					\$ 2,217,348.97

ITEM K: INTERIOR LIGHTING

Description

The typical Classrooms in the overall facility are equipped with T-8 surface mount fluorescent fixtures with single level switching. Classroom fixtures are in poor condition, providing an average illumination of 12 FC, which is less than the 50 FC recommended by the OSDM.

The typical Corridors in the 1927 construction are equipped with T-8 surface mounted fluorescent fixtures with single level switching. Corridor fixtures are in poor condition, providing an average illumination of 3 FC, which is less than the 20 FC recommended by the OSDM.

The Gymnasium space is equipped with suspended fluorescent fixtures in fair condition, providing an average illumination of 15 FC, which is less than the 50 FC recommended by the OSDM.

The service areas in the overall facility are equipped with suspended linear fluorescent fixture type lighting in fair condition.

The typical Administrative spaces the overall facility are equipped with 2x4 T-8 fluorescent fixture type lighting in good condition, providing inadequate illumination based on OSDM requirements.

The overall lighting systems of the facility are not fully compliant with Ohio School Design Manual requirements due to age and condition and inadequate lighting levels.



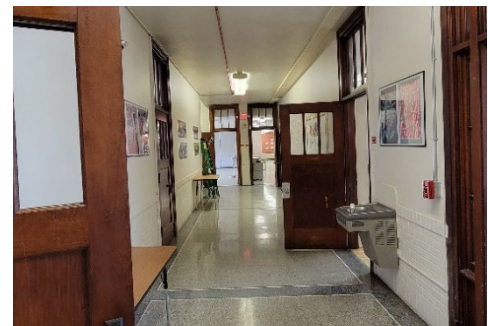
Typical Admin. Lighting in 1970 Addition



Gymnasium Lighting

Recommendations

Provide complete replacement of lighting system due to condition and light levels, and installation of systems outlined in Item A.



Typical Corridor Lighting in 1927 Original Construction

Cost

K.	Building Lighting Replacement	\$7.86 x 49,221	SF	\$	386,877.06
	Includes demo of existing fixtures				

ITEM L: SECURITY SYSTEM

Description

The overall facility contains a door contact type security system in good condition. Motion detectors are not provided. Exterior doors are equipped with door contacts. An automatic visitor control system is not provided. Compliant color CCTV cameras are not provided. The system is equipped with card readers. The security system is not adequately provided throughout, and the system is not compliant with Ohio School Design Manual guidelines.

The exterior site lighting system is equipped with wall mounted, surface canopy mounted, and canopy recessed entry lights, in fair condition. Pedestrian walkways are not illuminated. Parking and bus pick-up / drop off areas are illuminated by pole mounted HID fixtures in poor condition. The exterior site lighting system provides inadequate illumination due to insufficient fixture capacity and sparse placement of fixtures.

Recommendations

Provide complete replacement of security system to meet Ohio School Design Manual guidelines.

Provide complete replacement of exterior site lighting system to meet Ohio School Design Manual guidelines.

Cost

L.	Security System	\$3.45 x 49,221	SF	\$	169,812.45
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ITEM M: EMERGENCY / EGRESS LIGHTING

Description

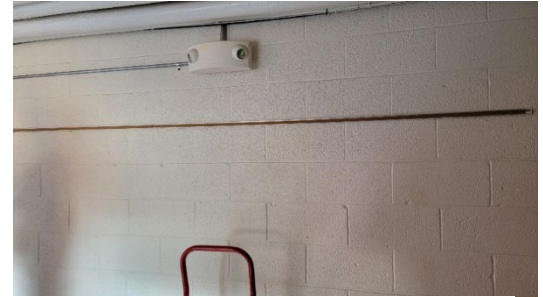
The 1927 construction is equipped with an emergency egress lighting system consisting of non-compliant plastic construction exit signs, and the system is in fair condition. The 1970 construction is not equipped with emergency egress floodlighting, but is equipped with recessed fluorescent lighting used as emergency egress lighting, and the system is in good condition.

Recommendations

Provide complete replacement of emergency / egress lighting system to meet Ohio School Design Manual and Ohio Building Code guidelines, and due to installation of systems outlined in Items A and K.



Exit Sign in 1970 Addition



Emergency Egress Lighting in 1927 Original Construction

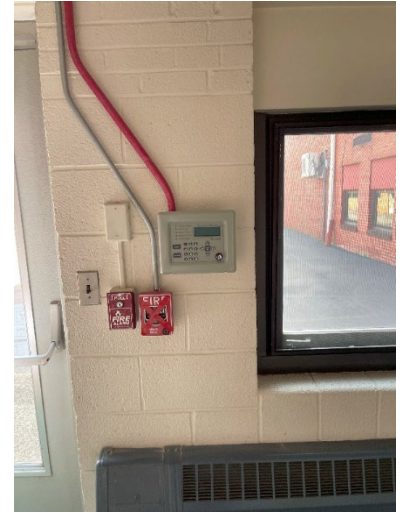
Cost

M.	Complete replacement of system	\$1.21 x 49,221	SF	\$	59,557.41
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ITEM N: FIRE ALARM

Description

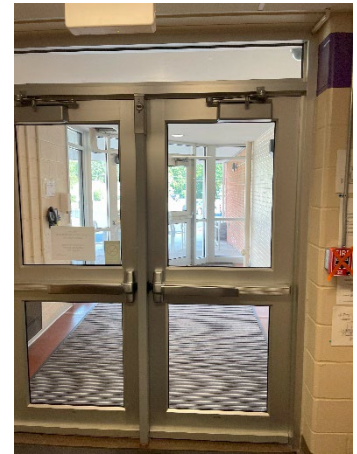
The overall facility is equipped with a Silent Knight model 6808 addressable type fire alarm system, installed in 2023, and in excellent condition, consisting of manual pull stations, horn and voice indicating devices, heat detectors, carbon monoxide detector, smoke detectors, and annunciator panels. The system is not equipped with any flow switches or tamper switches as there is no fire suppression system, but has capacity to support future fire suppression system. The system is adequately provided throughout, and does have additional zone capabilities. The system is fully compliant with Ohio building Code, NFPA, and Ohio School Design Manual requirements.



Fire Alarm next to Exit Door

Recommendations

Existing conditions require no renovation or replacement at the present time.



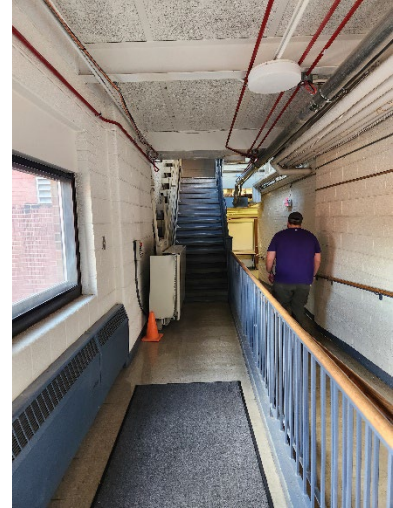
Cost

N. No Work required

ITEM O: HANDICAP ACCESS

Description

At the site, there is an accessible route provided from the public right-of-way, the accessible parking areas, and from the passenger unloading zone to the main entrance Board of Education and the alternative school entrance. There is an accessible route connecting all or most areas of the site, though some of the slopes around the site may not be ADA compliant. The exterior entrances are mostly ADA accessible. Access from the parking / drop-off area to the building entries are not compromised by steps or steep ramps. Adequate handicap parking is provided. Exterior doors are equipped with ADA hardware. Building entrances should be equipped with 2 ADA power assist doors one is provided, which is fair condition. Playground layout and equipment are mostly compliant, though the playground surfaces are not compliant.



Stairwell in middle of Facility

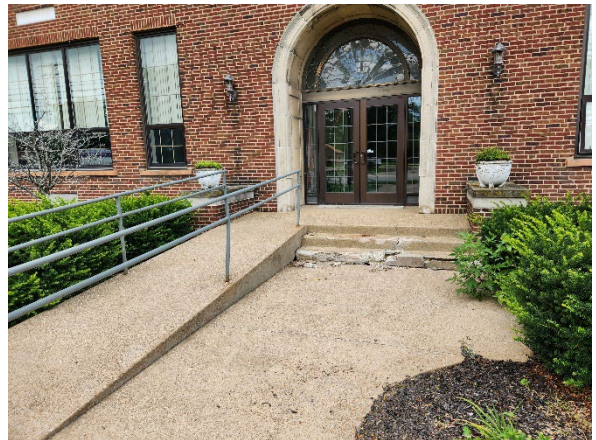
On the interior of the building, space allowances and reach ranges are not compliant. There is not an accessible route through the building which does include protruding objects. Ground and floor surfaces are not compliant. Ramps and stairs do not meet all ADA requirements.

Elevation changes within the overall facility are facilitated by 2 non-compliant stairwells in poor condition and 1 compliant lift in poor condition. Special provisions for floor level changes in this 3-story structure are insufficient due to no accessible access to the second and third floors. Access to the Stage is not facilitated by any special conditions. No elevator is provided.

Interior doors are not recessed, are not all provided adequate clearances, and are not provided with ADA-compliant hardware. Interior doors of the 2015 renovation are provided with compliant ADA hardware and clearances.

ADA compliant lavatories, water closets, and urinals are provided in adequate quantities. 1 ADA-compliant showers are required, and 1 are currently provided. (5) ADA-compliant electric water coolers are required, and 3 are currently provided. Toilet partitions are wood composite, and provide appropriate ADA clearances. ADA-compliant accessories are not adequately provided and mounted. Mirrors do not meet ADA requirements for mounting heights.

Due to existing grade configuration, no Science Classroom considerations require evaluation.



Main Entrance of Old Building

ADA signage is provided within the Board of Education side of the building. There is no ADA signage provided within the alternative school side of the building.

Recommendations

Provide ADA-compliant signage, power assist door opener, chair lifts, elevators, electric water coolers, toilet accessories, doors and frames, and door hardware in the 1929, 1949, and 1950 additions to facilitate the school's meeting of ADA requirements.

Replace W.C./sinks/lavatories/urinals in locker rooms to meet ADA requirements.

Cost

O.	ADA Door Assist	\$9,073.15 x 1	ea	\$	9,073.15
	Signage	\$0.24 x 49,221	SF	\$	11,813.04
	Doors and Frames	\$1,572.68 x 48	ea	\$	75,488.64
	Doors w/opening rework	\$6,048.79 x 19	ea	\$	114,927.01
	Elevators	\$61,697.62 x 3	lvl	\$	185,092.86
	Chair Lifts	\$18,146.36 x 1	ea	\$	18,146.36
	Toilet Partitions	\$1,500.00 x 6	ea	\$	9,000.00
	Shower	\$3,629.27 x 2	ea	\$	7,258.54
	Water Cooler	\$3,629.27 x 2	ea	\$	7,258.54
	Toilet/Urinals/Sinks	\$4,597.08 x 6	ea	\$	27,582.48
				<hr/>	
				\$	465,640.62

ITEM P: SITE CONDITION

Description

The 6.94 acre relatively flat site is located in a suburban residential and commercial setting with sparse tree and shrub type landscaping. There are no outbuildings. There are apparent problems with ponding in between the 1950 addition and the 1957 addition, as previously discussed.

The site is bordered by heavily traveled city streets. Multiple entrances are provided onto the site, however there is no proper separation of bus and other vehicular traffic, and one way bus traffic is not provided. There could be a curbside bus loading and unloading zone adjacent to the school, which is not separated from other vehicular traffic.

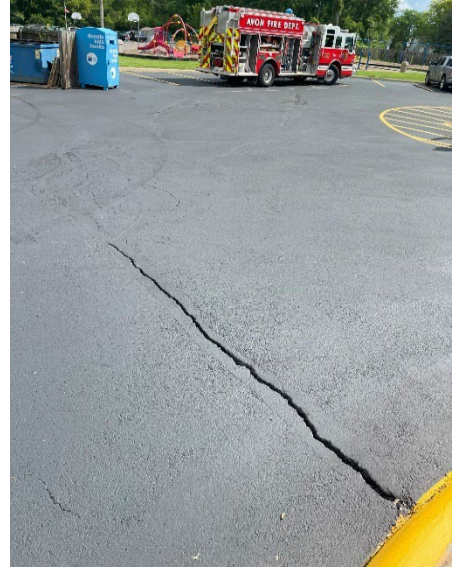
Staff and visitor parking is facilitated by multiple asphalt parking lots in fair condition, containing 97 parking places, which provides adequate parking for staff members, visitors, and the disabled. The site and parking lot drainage design, consisting of sheet drainage and catch basins, does not provide adequate evacuation of storm water as discussed.

Concrete curbs in poor condition are appropriately placed. Concrete sidewalks are properly sloped, are located to provide a logical flow of pedestrian traffic, and are in poor condition. Trash pick-up and service drive pavement is not heavy duty and is in poor condition, and is equipped with a concrete pad area for dumpsters, however, the concrete pad is small and does not accommodate all dumpsters on the site.

There are exterior concrete stairs from classrooms in the 1924 addition that are in poor condition. The stairs and ramp at the 1924 main entrance are also in poor condition.

The playground equipment is primarily constructed of metal and high-density plastic, and is in fair condition. Playground equipment is placed to provide compliant fall zones, and on a non-compliant wood fiber mulch of sufficient depth. The hard surface play areas are on asphalt and contain four square, basketball hoops, and other painted activities. The playground area is equipped with picnic tables in fair condition.

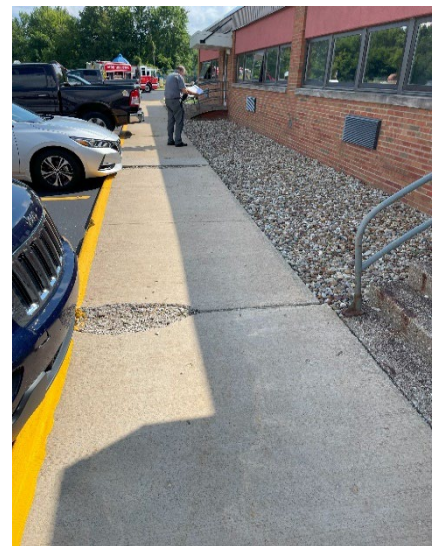
There are soccer fields on site that are in good condition. Site features are suitable for outdoor instruction, though no related equipment has been provided to facilitate doing so.



Cracks in Parking Lot



Exterior Stairs



Sidewalk

If a new school building were to be built on this site, consideration may need to be given to the original building and its sentimental value to the community. The site shape also should be considered for any additions or new builds, which may constrain size and site circulation.

Recommendations

- Provide for playground equipment and soft surface replacement.
- Provide for asphalt resurfacing.
- Provide for concrete sidewalk and curb replacement as required.
- Provide for additional concrete pad space for all dumpsters, including additional screening fence.
- Provide for the replacement of concrete stairs and ramps.
- Stormwater pipes and manhole improvements required between 1950 and 1957 additions due to flooding issues.

Cost

P.	Replacement of Concrete Curbs	\$38.72 x 30	LF	\$	1,161.60
	Replacement of Concrete Sidewalks	\$9.08 x 320	SF	\$	2,905.60
	Full Depth Replacement of Asphalt Parking/Drives (Including playground hard surface)	\$33.63 x 7,293	SY	\$	245,263.59
	Replacement of Concrete Stairs	\$37.53 x 300	SF	\$	11,259.00
	Replacement of Playground Equipment	\$1.82 x 49,221	SF	\$	89,582.22
	Demo of Playground Equipment	Lump Sum		\$	2,419.51
	Playground Soft Surface	\$36.29 x 11,174	SY	\$	405,504.46
	Concrete Dumpster Pad	\$2,903.42 x 1	ea	\$	2,903.42
	Site Allowance	Lump Sum		\$	150,000.00
	Stormwater Improvements required due to Flooding	Lump Sum Allowance		\$	<u>100,000.00</u>
				\$	1,010,999.40

ITEM Q: SEWER SYSTEM

Description

The existing system is tied into the municipal system. Based on our walkthrough no issues were reported by school personnel.

Recommendations

No upgrades required.

Cost

Q. No work at this time

ITEM R: WATER SUPPLY

Description

The existing system is tied into the municipal system. Based on our walkthrough, school officials stated no issues were present with water pressure or volume. The existing main service line will not support the future fire protection systems for this facility.

Recommendations

Extend a new water line to the building. This line will be accounted for in Item U: Life Safety.

Cost

R. No work required

ITEM S: EXTERIOR DOORS

Description

Typical exterior doors in the 1929, 1949, and 1950 Additions are aluminum type construction, installed on aluminum frames, and in poor condition. Typical exterior doors feature single glazed vision panels, and appropriate hardware.

Typical exterior doors in the 1957 Addition are aluminum type construction, installed on aluminum frames, and in poor condition. Typical exterior doors feature insulated vision panels, and appropriate hardware.

Entrance doors in the 1929 and 1950 Additions are aluminum type construction, installed on aluminum frames, and in poor condition. Entrance doors feature single glazed vision panels, transoms, sidelights, and appropriate hardware.

Entrance doors in the 1957 Addition are aluminum type construction, installed on aluminum frames, and in fair condition. Entrance doors feature insulated vision panels, transoms, sidelights, and appropriate hardware.

The facility is not equipped with any roof access doors.

There are no overhead doors in the facility.

Recommendations

Replace exterior doors in the overall facility, due to poor condition.

Cost



Exterior Exit Door in New Addition



Entrance at Old Building

S.	Exterior Door Replacement	3,024.39 x 16	ea	\$	48,390.24
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ITEM T: HAZARDOUS MATERIALS

Description

The School District provided potential cost for abatement of hazardous material including asbestos through the district's consultant.

Recommendations

Remove all hazardous material, inclusive of asbestos containing material in the whole building. An enhanced environmental assessment will be required at the time of building abatement.

Cost

T. Abatement Cost	\$45,000.00
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ITEM U: LIFE SAFETY

Description

The overall facility is not equipped with an automated fire suppression system. Exit corridors are situated such that dead-end Corridors are not present. The facility features 2 interior stair towers, which are not protected by compliant two-hour fire enclosures. The facility does not have any exterior stairways from intermediate floors. Guardrails do not meet the 4" ball test, and do not extend past the top and bottom stair risers as required by the Ohio Building Code.

There is no kitchen located in the facility. If the facility were to become entirely a school building, a compliant kitchen would be required to be provided, with all compliant hoods and suppression systems.

Fire extinguishers are provided in sufficient quantity. Existing fire extinguishers are adequately spaced.

The facility is not equipped with an emergency generator.

The existing water supply is provided by a tie-in to the municipal system, and is insufficient to meet the future fire suppression needs of the school.

Rooms with a capacity greater than 50 occupants are equipped with adequate egress.

Recommendations

Provide new automated fire suppression system to meet Ohio School Design Manual guidelines. Provide increased water service of a capacity sufficient to support the fire suppression system, funding included in fire suppression funding.

Provide new emergency generator, with funding provided via complete replacement of electrical system in Item D.

Provide new handrails to meet the requirements of the Ohio Building Code.

Cost

U.	Handrails	\$6,048.79	x	lvl	6	\$	36,292.74
	Fire-rated stair enclosure	\$6,048.79	x	lvl	6	\$	36,262.74
	Sprinkler System	\$4.54	x	SF	49,221	\$	223,463.34
	Fire Line Main to Road	\$60.49	x	LF	200	\$	<u>12,098.00</u>
						\$	308,146.82

ITEM V: LOOSE FURNISHINGS

Description

The typical classroom, located in the 1924 Addition, has mismatched furniture, little to no casework, and minimal storage for teacher's materials. The board of education, located in the 1957 Addition, has adequate storage and consistent furniture design. This would need to be replaced and appropriate classroom casework would need to be provided if it were to become OSDM compliant classrooms.



Recommendations

Provide for replacement of outdated or inadequate furnishings throughout the overall facility.

Cost

V.	Replace Furniture	\$10.00 x 49,221	SF	\$	492,210.00
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ITEM W: TECHNOLOGY

Description

The typical Classroom is equipped with one data port for teacher use.

The typical Classroom is not equipped with the required four technology data ports for student use, one voice port with digitally based phone system, one cable port and monitor, and a 2-way PA system that can be initiated by either party to meet Ohio School Design Manual requirements.

The facility is not equipped with a centralized clock system. Specialized electrical / sound system requirements of Gymnasium and Stage spaces are not provided. OSDM-compliant computer network infrastructure is not provided. The facility does not contain a media distribution center, and does not provide Computer Labs for use by students.

Recommendations

Provide complete replacement of technology systems to meet Ohio School Design Manual requirements.

Cost

W.	Complete replacement	\$15.75 x 49,221	SF	\$	775,230.75
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Summary – Avon BOE

Facility Assessment	Cost
A. Heating System	\$ 2,500,919.01
B. Roofing	\$ 643,702.95
C. Ventilation/Air Conditioning	\$ -
D. Electrical Systems	\$ 1,712,398.59
E. Plumbing and Fixtures	\$ 562,693.00
F. Windows	\$ 722,410.75
G. Structure: Foundation	\$ 586,458.09
H. Structure: Walls and Chimney	\$ 585,254.08
I. Structure: Floors and Roofs	\$ 100,000.00
J. General Finishes	\$ 2,217,348.97
K. Interior Lighting	\$ 386,877.06
L. Security Systems	\$ 169,812.45
M. Emergency/Egress Lighting	\$ 59,557.41
N. Fire Alarm	\$ -
O. Handicapped Access	\$ 465,640.62
P. Site Condition	\$ 1,010,999.40
Q. Sewage System	\$ -
R. Water Supply	\$ -
S. Exterior Doors	\$ 48,390.24
T. Hazardous Materials	\$ 45,000.00
U. Life Safety	\$ 308,146.82
V. Loose Furnishings	\$ 492,210.00
W. Technology	<u>\$ 775,230.75</u>
Subtotal:	\$ 13,393,050.19
X. Non-Construction Cost	<u>\$ 7,336,979.41</u>

TOTAL **\$ 20,730,029.60**

X.	Non-Construction Cost	
	Subtotal	\$ 13,393,050.19
	10% Design Contingency	<u>\$ 1,339,305.02</u>
	Subtotal	\$ 14,732,355.21
	10% Construction Contingency	<u>\$1,473,235.52</u>
	Subtotal	\$ 16,205,590.73
	10% Material Escalation Contingency for '24/'25	<u>\$1,620,559.07</u>
	Subtotal	\$17,826,149.80
	*16.29% Non-Construction Costs	<u>\$2,903,879.80</u>
	Total Contingency Amount	\$7,336,979.41

*Land Survey, Soil Borings/Phase 1 Environmental Report, Agency Approval Fees (Bldg. Code), Construction Testing, Printing-Bid Documents, Advertising for Bids, Builders Risk Insurance, Bond Fees, Design Professionals Compensation, CM Compensation, Commissioning and Maintenance Plan Advisor, Non-Construction Contingency.

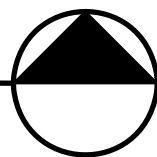
Avon BOE Additional Costs

Existing 49,221 SF x \$419.49/SF =	\$20,647,717.00
Escalation '24/'25 @ 10%	<u>\$ 2,064,772.00</u>
Total Cost for New Building	\$22,712,489.00
Renovation of Current Building	\$20,730,030.00
Renovation/New Ratio	91%
Demolition: 49,221 SF x \$10.00/SF =	\$492,210.00
Abatement Approximately	<u>\$ 45,000.00</u>
	\$537,210.00
Soft Cost @ 16.29%	<u>\$ 87,512.00</u>
	\$624,722.00



AERIAL SITE PLAN

SCALE: NOT TO SCALE



AVON BOARD OF EDUCATION
(1927,1949,1957,1970)

BOARD OF EDUCATION

AVON SCHOOL DISTRICT

OHIO SCHOOL FACILITIES COMMISSION

CONSTRUCTION DATES:

1927,1949,1957,1970

ACREAGE:

6.94

TOTAL SF:

49,221

GRADES:

N/A

CURRENT ENROLLMENT:

N/A

SQUARE FEET PER STUDENT:

N/A

DATE ISSUED:

MAY, 2023

LEGENDS:



SHEET NO

1 OF 9

Ridgeland Drive

Total Lot Area
6.94 ac

EXISTING
VILLAGE SCHOOL

Existing Paving
Area 'C'
(Alternate A-3, A-4)

Existing Paving
Area 'B'
(Alternate A-1, A-2)

New Paving
Area 'D'
(Alternate A-5)

New Soft
Play Area
Free Draining Material
Base Bid Item 4

Asphalt
Playground Area
Area 'A'
Base Bid Item 4

Existing Safety
Town

Existing Woodchip
Playground Area

Existing Paved
Drive
EX. CURB
TC 98.31

Detroit Road

Site Plan Construction Notes:

- All construction notes indicated thus
- Under Alternates A-2, A-3, and A-4: Provide new heavy-duty asphalt paving as indicated. Refer to section on sheet 5. Remove existing base and grade as required for new paving profile. All excess dirt and debris shall be removed from the site. Saw cut edges of existing asphalt back 12" minimum to provide clean working edge. Seal edge with ASTM D-3425 joint sealer. New asphalt paving in Area 'B' and 'C' shall be bid under the alternates for providing new overlay. Finished asphalt surfaces to match.
- Under Alternates A-1, A-3: Patch, crack fill, reseal, and stripe existing asphalt paving as indicated. Refer to specifications for extent, and expected work involved in these areas. Under Alternates A-2, A-4: Overlay existing asphalt paving as indicated. Refer to specifications for expected work involved.
- All landscaped areas and areas disturbed by this work shall receive 8" minimum topsoil and be seeded if not otherwise noted on drawings.
- 4" painted lines typical of all striped areas.
- Provide handicapped access. Slope asphalt paving to finish flush with top of curb.
- Provide filter fabric erosion control fence during entire time of construction and until seeding fully develops. Provide erosion control at all new and existing catch basins.
- Under Alternate A-5: Saw cut and remove approximately 7'x7' area of existing asphalt paving from around existing catch basin. Remove existing catch basin and provide new pre-cast concrete basin and frame and grate. Provide concrete surround. Tie existing storm line into new basin.
- Under Alternate A-5: Provide new pre-cast concrete catch basin as indicated. Refer to typical catch basin detail on sheet 6.
- Under Alternate A-5: Provide 8" thick concrete pad for dumpster. Reinforcing shall be 12"x12" #4 waf reinforcing. Seal joint between paving and curb.
- Field verify exact location of existing playground prior to start of any work. Inform Architect of any discrepancies.
- Under Base Bid Item 4: Remove asphalt surface of existing playground area to remain. Regrade the existing base as required to provide adequate slope. Provide additional base material as required to fill any low spots, prior to paving. Contractor shall relocate all existing playground equipment. Field verify location with Architect prior to starting work. All equipment shall be set in 16"x6" by 36" deep concrete foundations.

General Site Notes:

Visit site prior to submitting bid. Field locate and verify all existing conditions. Repair all damage to lawns, paving, walks, plantings, etc. caused by this work. Location of all underground utilities as shown on plans area as obtained from site surveys. It is the responsibility of the individual contractor to field verify all locations prior to commencing work. The contractor shall notify the Architect of any discrepancies between existing information and actual field conditions, as soon as they are noted. During construction all existing utilities to remain shall be protected. All excess dirt and debris shall be removed from the site. All excess topsoil not used for final grading shall be stock piled on site as directed by the architect. If for final grading additional topsoil is required the contractor shall provide. During all demolition and construction work, the contractor shall provide proper erosion control barriers as required the governing authorities.

Site Plan

1" = 30'-0"



SITE WORK DESCRIPTION:

Area	Work in Area
Area 'A'	Base Bid Item 4: Remove existing asphalt playground surface, regrade and compact existing base. Add base material as required to bring sub base up to appropriate elevation so that finish asphalt paving has adequate slope. Fill all low spots to prevent ponded water.
Area 'B'	Alternate A-1: Patch, Crackfill, Seal, and restripe existing asphalt paving located in area 'B' Alternate A-2: Provide 2" overlay with fabric over existing asphalt paving in area 'B'
Area 'C'	Alternate A-3: Patch, Crackfill, Seal, and restripe existing asphalt paving located in area 'C' Alternate A-4: Provide 2" overlay with fabric over existing asphalt paving in area 'C'
Area 'D'	Alternate A-5: Provide new asphalt paving as indicated to replace existing gravel lot. Remove existing base as required to provide new heavy duty asphalt paving. Provide storm water system and detention for new paving. Patch, Crackfill, Seal, and Restripe existing paved drive to remain.

EACH CONTRACTOR SHALL CHECK AND VERIFY ALL DIMENSIONS AT THE JOB.



CLARK & POST
architects inc.
6125 So. Broadway
Lorain, Ohio 44053

AVON LOCAL SCHOOL DISTRICT
2005 PERMANENT IMPROVEMENT PROJECTS
P105.2 - PAVEMENT WORK
AVON VILLAGE SCHOOL
36600 DETROIT ROAD
AVON, OHIO 44011

SITE PLAN

DATE: Jan 21, 2005
REV:

SHEET

C-3

OF 6

PROJ. NO. 0437

**BOARD OF
EDUCATION**

AVON SCHOOL DISTRICT

OHIO SCHOOL FACILITIES COMMISSION

CONSTRUCTION DATES:

1927,1949,1957,1970

ACREAGE:

6.94

TOTAL SF:

49,221

GRADES:

N/A

CURRENT ENROLLMENT:

N/A

SQUARE FEET PER STUDENT:













N/A

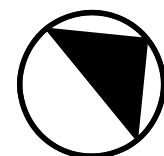
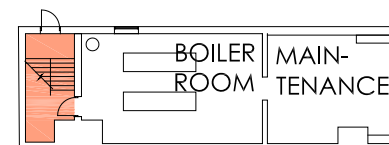
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MAY, 2023

LEGENDS:

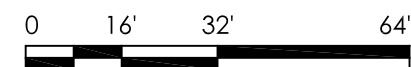
BUILDING COMPONENT

-  CORRIDORS
-  GYMNASIUM
-  MEDIA CENTER
-  STUDENT DINING
-  KITCHEN
-  CT PROGRAMS (LOW-BAY)
-  CT PROGRAMS (HIGH-BAY)
-  AGRICULTURAL EDUCATION LAB
-  NON-DESIGN MANUAL
-  UNUSABLE
-  OVERSIZED
-  TUNNELS



BASEMENT FLOOR PLAN

SCALE: 1/32" = 1'-0"



ADDITION	AUDITORIUM FIXED SEATING	CORRIDORS	AGRICULTURAL EDUCATION LAB	PRIMARY GYMNASIUM	MEDIA CENTER	VOCATIONAL SPACE	STUDENT DINING	KITCHEN	NATORIUM	INDOOR TRACKS	ADULT EDUCATION	BOARD OFFICES	OUTSIDE AGENCIES	AUXILIARY GYMNASIUM
ORIG. CONS. (1929)		3,493		2,899										
1. ADDITION (1949)														
2. ADDITION (1950)														
3. ADDITION (1957)		3,704										12,604		
TOTAL SF		7,197		2,899								12,604		



**SHEET NO
2 OF 9**

BOARD OF EDUCATION

AVON SCHOOL DISTRICT

OHIO SCHOOL FACILITIES COMMISSION

CONSTRUCTION DATES:

1927,1949,1957,1970

ACREAGE:

6.94

TOTAL SF:

49,221

GRADES:

N/A

CURRENT ENROLLMENT:

N/A

SQUARE FEET PER STUDENT:

N/A

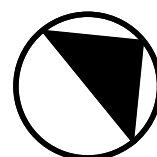
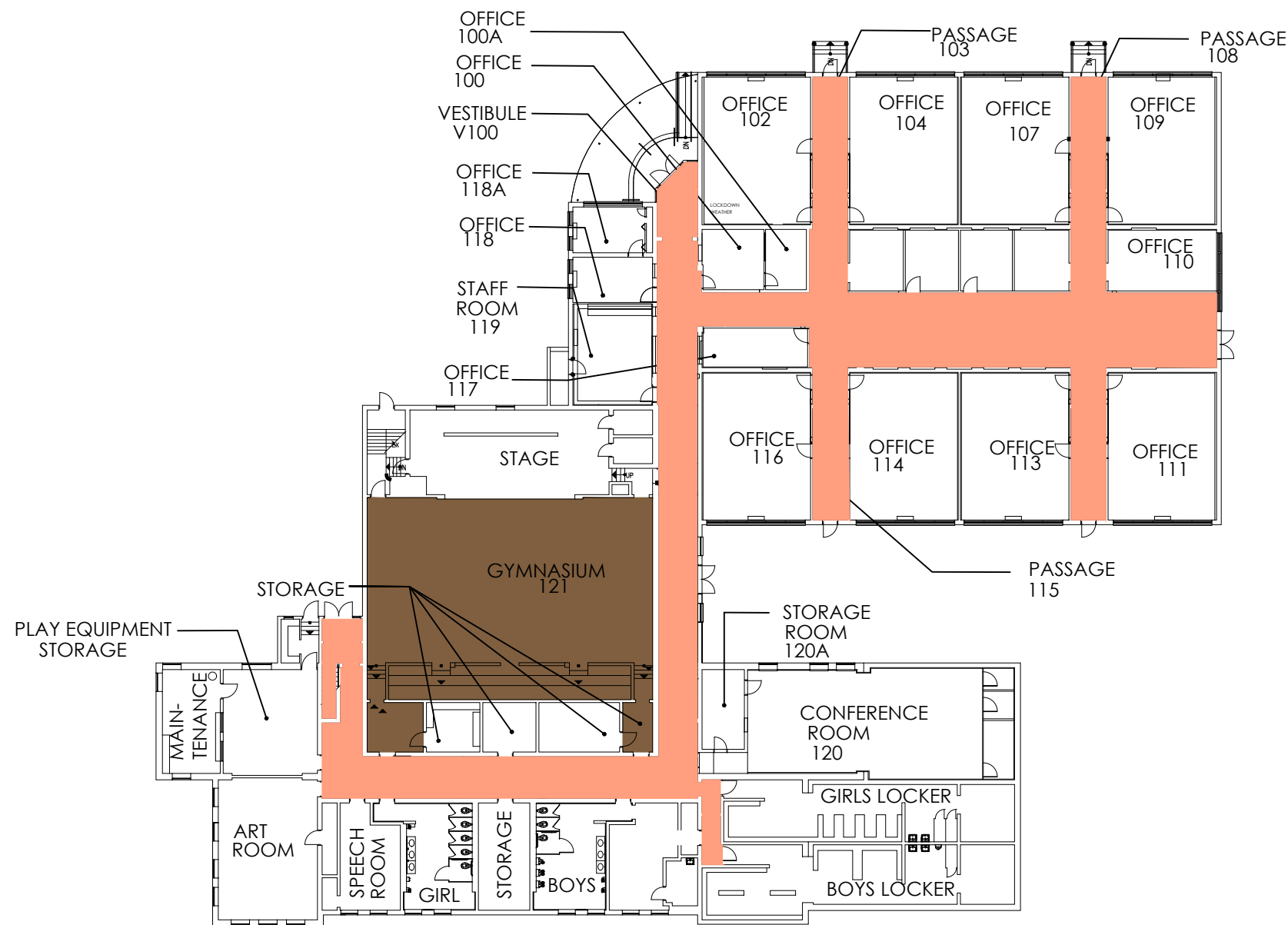
DATE ISSUED:

MAY, 2023

LEGENDS:

BUILDING COMPONENT

- CORRIDORS
- GYMNASIUM
- MEDIA CENTER
- STUDENT DINING
- KITCHEN
- CT PROGRAMS (LOW-BAY)
- CT PROGRAMS (HIGH-BAY)
- AGRICULTURAL EDUCATION LAB
- NON-DESIGN MANUAL
- UNUSABLE
- OVERSIZED
- TUNNELS



FIRST FLOOR PLAN

SCALE: 1/32" = 1'-0"

0 16' 32' 64'



ADDITION	AUDITORIUM FIXED SEATING	CORRIDORS	AGRICULTURAL EDUCATION LAB	PRIMARY GYMNASIUM	MEDIA CENTER	VOCATIONAL SPACE	STUDENT DINING	KITCHEN	NATATORIUM	INDOOR TRACKS	ADULT EDUCATION	BOARD OFFICES	OUTSIDE AGENCIES	AUXILIARY GYMNASIUM
ORIG. CONS. (1929)		3,493		2,899										
1. ADDITION (1949)														
2. ADDITION (1950)														
3. ADDITION (1957)		3,704										12,604		
TOTAL SF		7,197		2,899								12,604		



SHEET NO
3 OF 9

BOARD OF EDUCATION

AVON SCHOOL DISTRICT

OHIO SCHOOL FACILITIES COMMISSION

CONSTRUCTION DATES:

1927,1949,1957,1970

ACREAGE:

6.94

TOTAL SF:

49,221

GRADES:

N/A

CURRENT ENROLLMENT:

N/A

SQUARE FEET PER STUDENT:

N/A

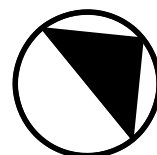
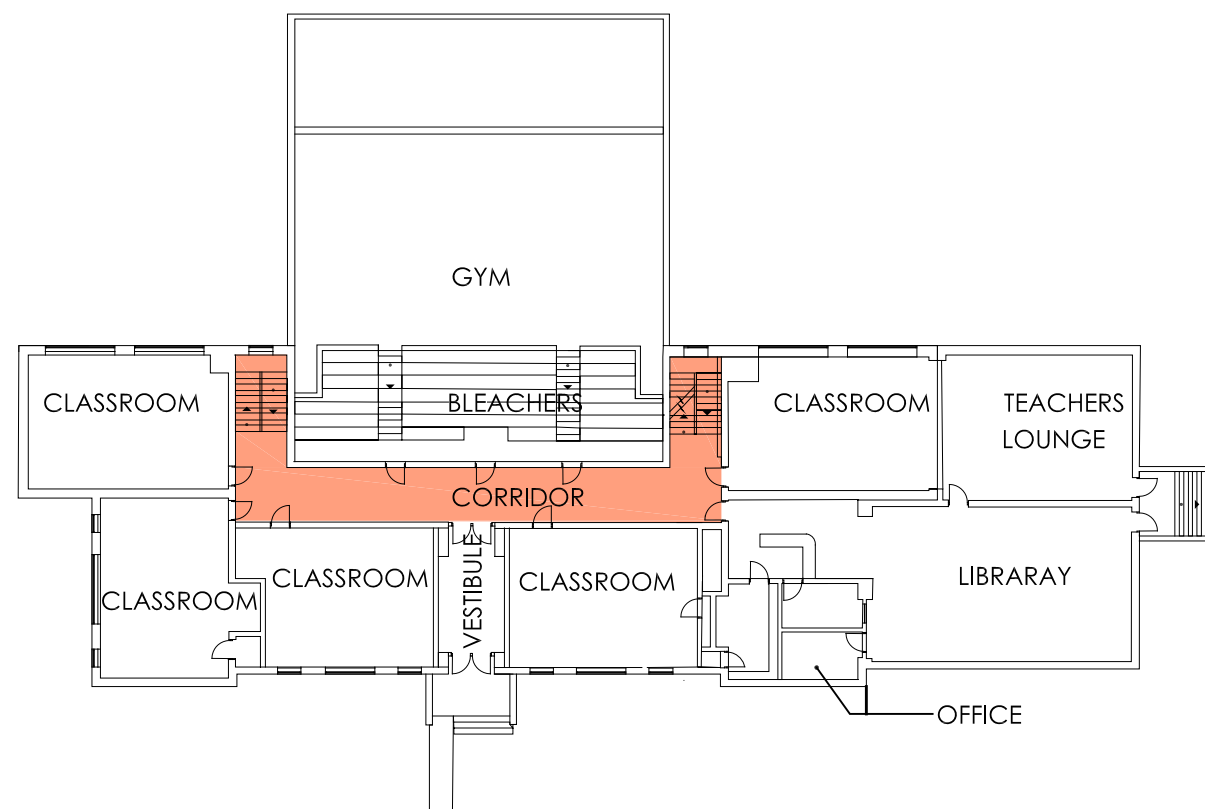
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MAY, 2023

LEGENDS:

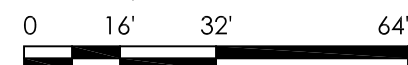
BUILDING COMPONENT

- CORRIDORS
- GYMNASIUM
- MEDIA CENTER
- STUDENT DINING
- KITCHEN
- CT PROGRAMS (LOW-BAY)
- CT PROGRAMS (HIGH-BAY)
- AGRICULTURAL EDUCATION LAB
- NON-DESIGN MANUAL
- UNUSABLE
- OVERSIZED
- TUNNELS



SECOND FLOOR PLAN

SCALE: 1/32" = 1'-0"



ADDITION	AUDITORIUM FIXED SEATING	CORRIDORS	AGRICULTURAL EDUCATION LAB	PRIMARY GYMNASIUM	MEDIA CENTER	VOCATIONAL SPACE	STUDENT DINING	KITCHEN	NATORIUM	INDOOR TRACKS	ADULT EDUCATION	BOARD OFFICES	OUTSIDE AGENCIES	AUXILIARY GYMNASIUM
ORIG. CONS. (1929)		3,493		2,899										
1. ADDITION (1949)														
2. ADDITION (1950)														
3. ADDITION (1957)		3,704										12,604		
TOTAL SF		7,197		2,899								12,604		



SHEET NO
4 OF 9

BOARD OF EDUCATION

AVON SCHOOL DISTRICT

OHIO SCHOOL FACILITIES COMMISSION

CONSTRUCTION DATES:
1927,1949,1957,1970

ACREAGE:
6.94

TOTAL SF:
49,221

GRADES:
N/A













CURRENT ENROLLMENT:
N/A

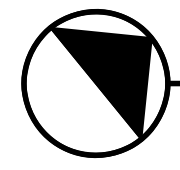
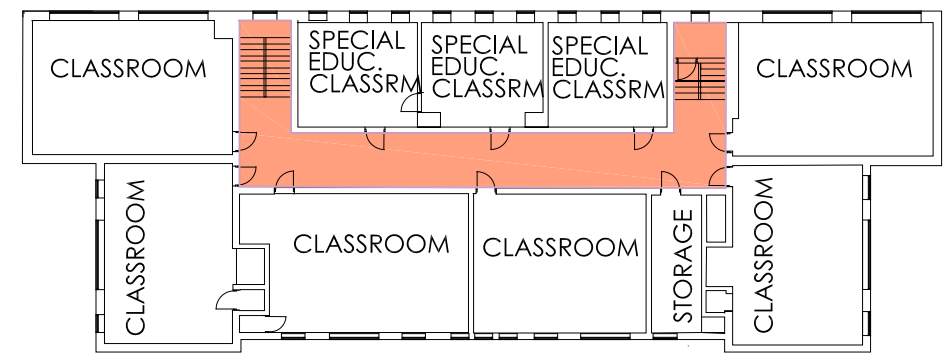
SQUARE FEET PER STUDENT:
N/A

DATE ISSUED:
MAY, 2023

LEGENDS:

BUILDING COMPONENT

-  CORRIDORS
-  GYMNASIUM
-  MEDIA CENTER
-  STUDENT DINING
-  KITCHEN
-  CT PROGRAMS (LOW-BAY)
-  CT PROGRAMS (HIGH-BAY)
-  AGRICULTURAL EDUCATION LAB
-  NON-DESIGN MANUAL
-  UNUSABLE
-  OVERSIZED
-  TUNNELS



THIRD FLOOR FLOOR PLAN

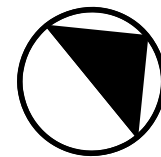
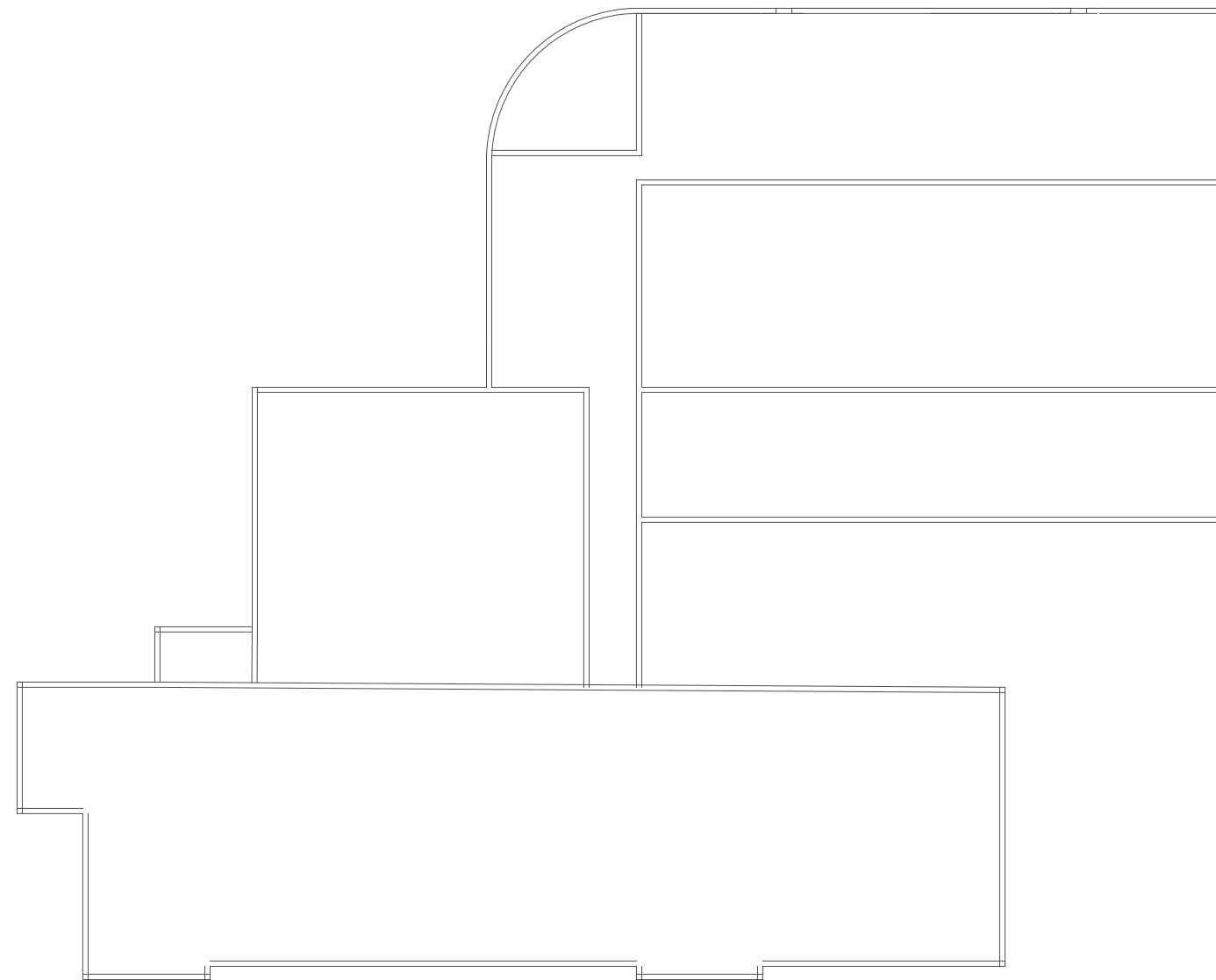
SCALE: 1/32" = 1'-0"
0 16' 32' 64'

ADDITION	AUDITORIUM FIXED SEATING	CORRIDORS	AGRICULTURAL EDUCATION LAB	PRIMARY GYMNASIUM	MEDIA CENTER	VOCATIONAL SPACE	STUDENT DINING	KITCHEN	NATATORIUM	INDOOR TRACKS	ADULT EDUCATION	BOARD OFFICES	OUTSIDE AGENCIES	AUXILIARY GYMNASIUM
ORIG. CONS. (1929)		3,493		2,899										
1. ADDITION (1949)														
2. ADDITION (1950)														
3. ADDITION (1957)		3,704										12,604		
TOTAL SF		7,197		2,899								12,604		



ARCHITECTURAL VISION GROUP, LTD.
ARCHITECTS • PLANNERS
CLEVELAND, OHIO 44145

SHEET NO
5 OF 9



ROOF PLAN

SCALE: 1/32" = 1'-0"

0 16' 32' 64'



BOARD OF EDUCATION

AVON SCHOOL DISTRICT

OHIO SCHOOL FACILITIES COMMISSION

CONSTRUCTION DATES:

1927,1949,1957,1970

ACREAGE:

6.94

TOTAL SF:

49,221

GRADES:

N/A

CURRENT ENROLLMENT:

N/A

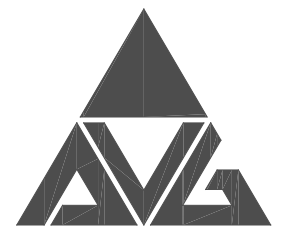
SQUARE FEET PER STUDENT:

N/A

DATE ISSUED:

MAY, 2023

LEGENDS:



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CLEVELAND, OHIO 44145

SHEET NO

6 OF 9

BOARD OF
EDUCATION

AVON SCHOOL DISTRICT

OHIO SCHOOL FACILITIES COMMISSION

CONSTRUCTION DATES:

1927,1949,1957,1970

ACREAGE:

6.94

TOTAL SF:

49,221

GRADES:

N/A

CURRENT ENROLLMENT:

N/A

SQUARE FEET PER STUDENT:





N/A

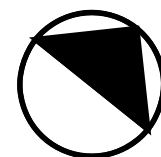
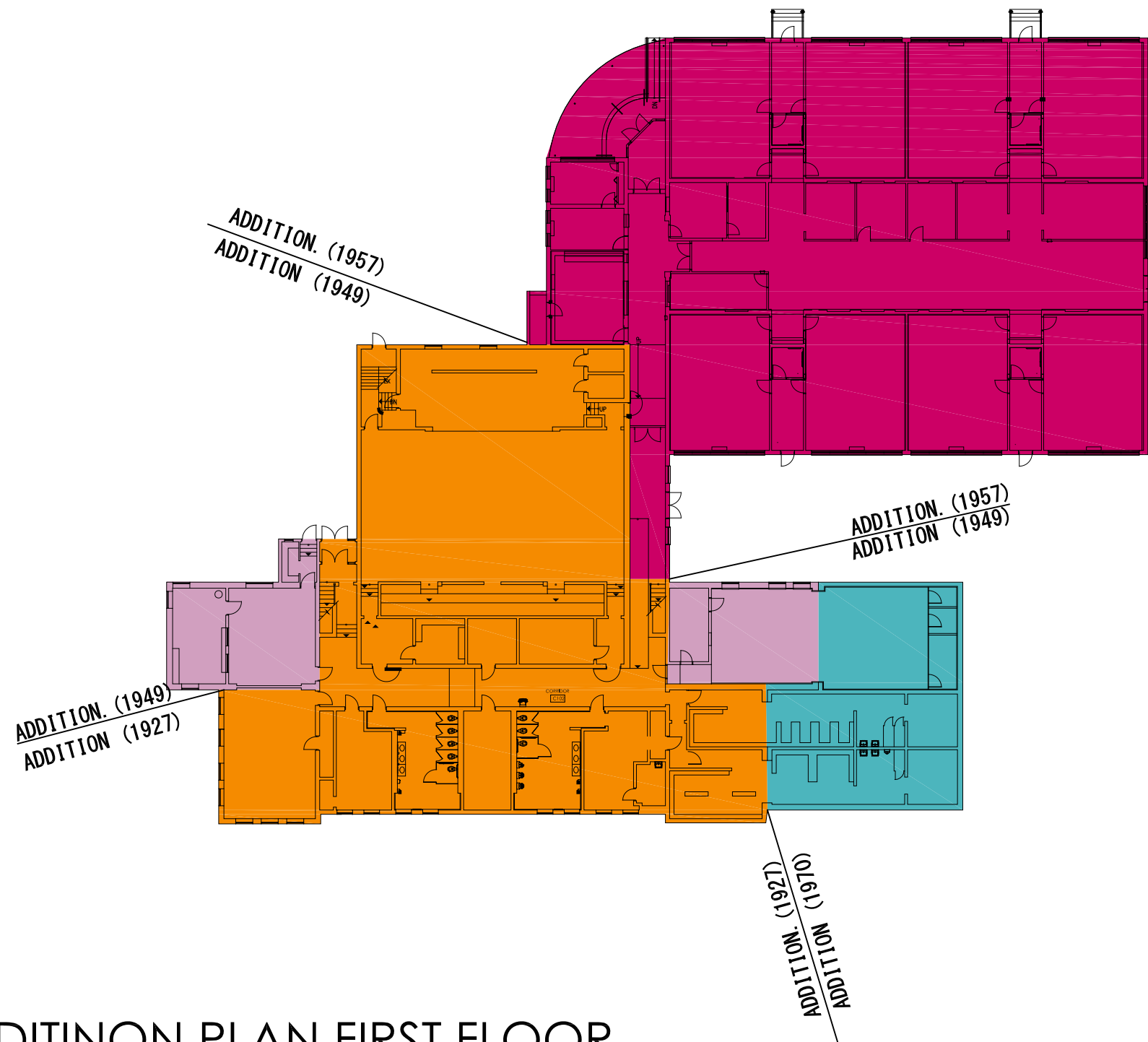
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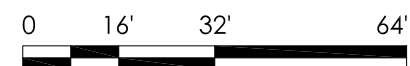
CONSTRUCTION DATES

-  ORIGINAL (1929)
-  1. Addition (1949)
-  2. Addition (1957)
-  3. Addition (1970)



ADDITINON PLAN FIRST FLOOR

SCALE: 1/32" = 1'-0"



SHEET NO

7 OF 9

BOARD OF
EDUCATION

AVON SCHOOL DISTRICT

OHIO SCHOOL FACILITIES COMMISSION

CONSTRUCTION DATES:

1927,1949,1957,1970

ACREAGE:

6.94

TOTAL SF:

49,221

GRADES:

N/A

CURRENT ENROLLMENT:

N/A

SQUARE FEET PER STUDENT:





N/A

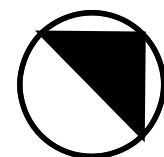
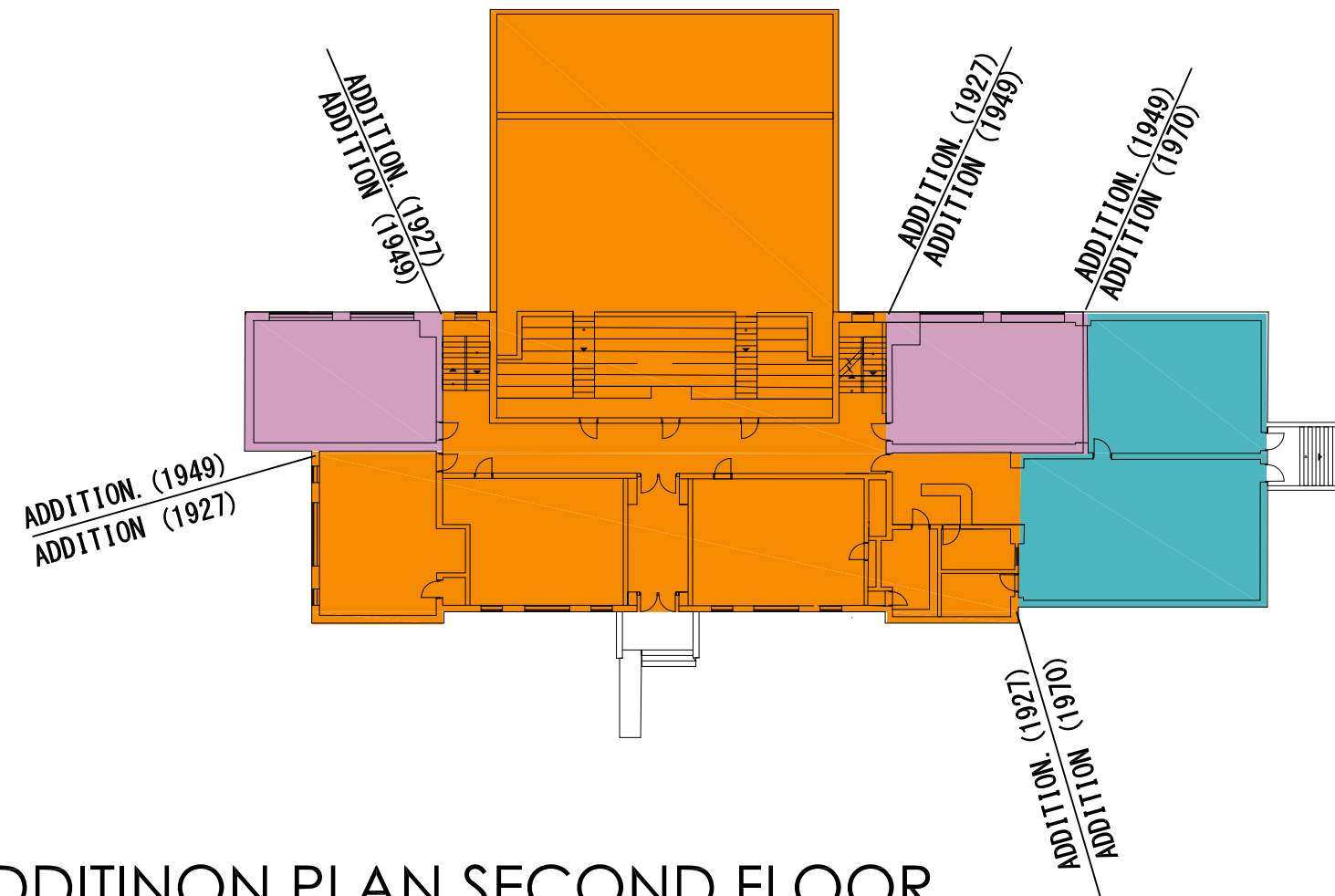
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MAY, 2023

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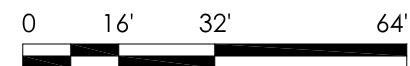
CONSTRUCTION DATES

-  ORIGINAL (1929)
-  1. Addition (1949)
-  2. Addition (1957)
-  3. Addition (1970)



ADDITINON PLAN SECOND FLOOR

SCALE: 1/32" = 1'-0"



SHEET NO
8 OF 9

BOARD OF
EDUCATION

AVON SCHOOL DISTRICT

OHIO SCHOOL FACILITIES COMMISSION

CONSTRUCTION DATES:

1927,1949,1957,1970

ACREAGE:

6.94

TOTAL SF:

49,221

GRADES:

N/A

CURRENT ENROLLMENT:

N/A

SQUARE FEET PER STUDENT:





N/A

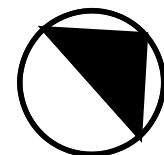
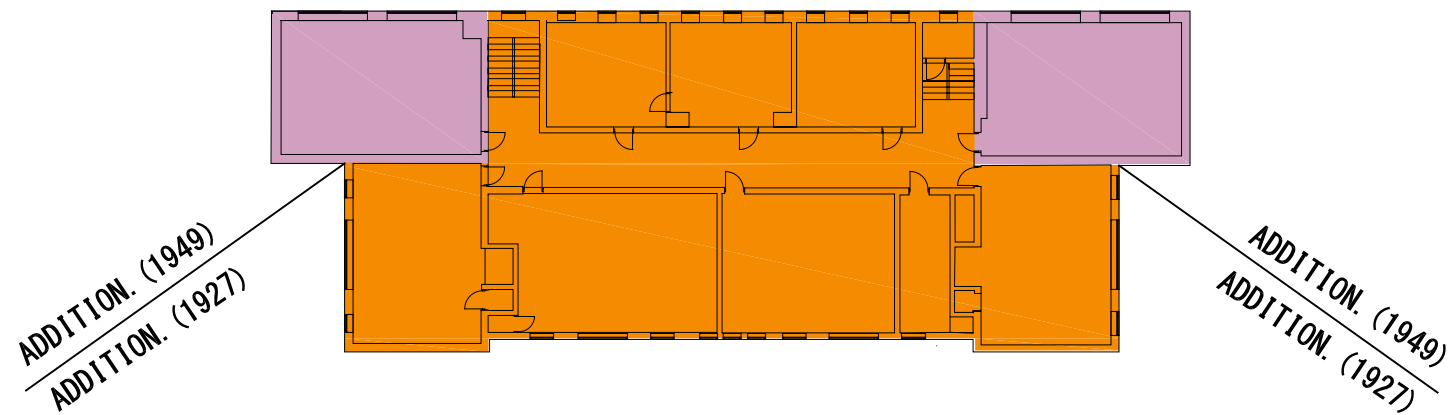
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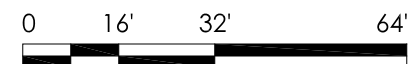
CONSTRUCTION DATES

-  ORIGINAL (1929)
-  1. Addition (1949)
-  2. Addition (1957)
-  3. Addition (1970)



ADDITINON PLAN THIRD FLOOR

SCALE: 1/32" = 1'-0"



SHEET NO

9 OF 9

Avon New Elementary Building Grades 3-5

1,050 (Students) x 108.70 SF/Student = 114,136 SF

114,136 SF x \$364.32/SF = \$41,582,028.00

Design/Construction Contingency @ 10% \$ 4,158,203.00

Subtotal: \$45,740,231.00

Supply Chain & Escalation Cost @ 10% \$ 4,574,023.00

Total Project Cost: **\$50,314,254.00**

A-W Items	East Elementary	Heritage Elementary	Early Learning Ctr.	Board of Education	*New 3-5 Elementary	Total Project Cost
	70,490 SF	148,281 SF	64,490 SF	49,221 SF	114,136 SF	(Heritage Reno + New 3-5 Elem)
A. Heating System	\$ 4,263,940.20	\$ 468,281.00	\$ 3,276,736.90	\$ 2,500,919.01		
B. Roofing	\$ 1,938,357.69	\$ -	\$ 1,750,989.17	\$ 643,702.95		
C. Ventilation/A/C	\$ -	\$ -	\$ -	\$ -		
D. Electrical Systems	\$ 493,752.80	\$ 106,762.32	\$ 2,243,607.10	\$ 1,712,398.59		
E. Plumbing & Fixtures	\$ 143,210.13	\$ 593,694.34	\$ 640,356.33	\$ 562,693.00		
F. Windows	\$ 337,468.95	\$ 898,647.75	\$ 459,336.15	\$ 722,410.75		
G. Structure/Foundation	\$ -	\$ -	\$ -	\$ 586,458.09		
H. Structure/Walls & Chimney	\$ 136,216.95	\$ 180,397.75	\$ 191,860.26	\$ 585,254.08		
I. Structure/Floors & Roofs	\$ -	\$ -	\$ 235,000.00	\$ 100,000.00		
J. General Finishes	\$ 3,717,175.05	\$ 4,912,024.00	\$ 2,967,778.50	\$ 2,217,348.97		
K. Interior Lighting	\$ 554,051.40	\$ 1,053,685.98	\$ 506,891.40	\$ 386,877.06		
L. Security Systems	\$ 85,292.90	\$ 511,569.45	\$ 300,523.40	\$ 169,812.45		
M. Emergency/Egress Lightng	\$ 85,292.90	\$ -	\$ 78,032.90	\$ 59,557.41		
N. Fire Alarm	\$ 2,500.00	\$ 538,260.03	\$ -	\$ -		
O. Handicapped Access	\$ 344,522.18	\$ 215,545.82	\$ 420,043.41	\$ 465,640.62		
P. Site Condition	\$ 763,538.09	\$ 1,750,850.56	\$ 1,455,908.11	\$ 1,010,999.40		
Q. Sewage System	\$ -	\$ -	\$ -	\$ -		
R. Water Supply	\$ -	\$ -	\$ -	\$ -		
S. Exterior Doors	\$ 136,097.55	\$ 72,585.36	\$ 138,517.07	\$ 48,390.24		
T. Hazardous Materials	\$ 60,000.00	\$ -	\$ 55,000.00	\$ 45,000.00		
U. Life Safety	\$ 306,771.38	\$ 163,110.00	\$ 310,931.60	\$ 308,146.82		
V. Loose Furnishings	\$ 615,377.70	\$ 1,694,600.15	\$ 562,997.70	\$ 492,210.00		
W. Technology	\$ 1,110,217.50	\$ 2,335,425.75	\$ 935,750.00	\$ 775,230.75		
X. Non-Construction Cost	\$ 8,268,674.90	\$ 8,488,710.54	\$ 9,055,605.38	\$ 7,336,979.41		
Totals:	\$ 23,362,457.10	\$ 23,944,608.30	\$ 25,585,865.38	\$ 20,730,029.60	\$ 50,314,254.00	\$ 74,258,862.30
Reno/Replace	78%	40%	89%	91%		
Demolition Cost	\$ 889,502.00	\$ -	\$ 813,914.00	\$ 624,722.00		\$ 2,328,138.00
*New 3-5 Elem. 1,050 Students					Project Costs:	\$ 76,587,000.30
114,136 SF x \$364.32/SF	\$ 41,582,028.00					
Design/Const. Contingency 10%	\$ 4,158,203.00					
	\$ 45,740,231.00					
Supply/Chain Escalation '24/'25 @ 10%	\$ 45,740,231.00					11.06.23
	\$ 50,314,254.00					

Avon Local Schools

FACILITY ASSESSMENT REPORT

OFCC 2023 Probable Cost Set per Square Foot

State of Ohio Summary of New Construction "Opinion of Probable Costs"

Per Square Foot of Floor Area / Baseline Region 0 (Central Ohio)

2023 Design Manual Update

Regions	Reg Modif Factor	ELEMENTARY SCHOOLS				MIDDLE SCHOOLS				HIGH SCHOOLS			
		1-400 Students 1-50,000 SF	401-600 Students 50,001-69,360 SF	601-865 Students 69,361-100,000 SF	866 Students and up 100,001 SF and up	1-450 Students 1-67,950 SF	451-650 Students 67,951-91,650 SF	651-709 Students 91,651-100,000 SF	710 Students and up 100,001 SF and up	1-598 Students 1-100,000 SF	599-800 Students 100,001- 133,600 SF	801-1200 Students 133,601-200,400 SF	1201 Students and up 200,401 SF and up
0 - Central Ohio	NC 100												
Site		\$34.07	\$30.97	\$29.75	\$28.01	\$34.69	\$32.37	\$32.36	\$30.46	\$32.94	\$30.99	\$35.02	\$33.10
Basic Building		\$291.45	\$282.49	\$270.61	\$254.70	\$291.76	\$275.61	\$274.81	\$258.98	\$292.24	\$275.06	\$265.06	\$260.13
TOTAL		\$325.52	\$313.46	\$300.36	\$282.71	\$326.45	\$307.98	\$307.17	\$289.45	\$325.18	\$306.04	\$300.08	\$293.23
Non-Construction Costs		\$52.41	\$50.47	\$48.36	\$45.51	\$52.56	\$49.59	\$49.45	\$46.60	\$52.35	\$49.27	\$48.31	\$47.21
GRAND TOTAL		\$377.92	\$363.94	\$348.72	\$328.22	\$379.00	\$357.56	\$356.61	\$336.04	\$377.52	\$355.32	\$348.39	\$340.43
1 - Southwestern Ohio	NC 98.68												
Site		\$33.62	\$30.56	\$29.36	\$27.64	\$34.23	\$31.94	\$31.93	\$30.06	\$32.50	\$30.58	\$34.56	\$32.67
Building		\$287.60	\$278.76	\$267.04	\$251.34	\$287.91	\$271.97	\$271.18	\$255.56	\$288.38	\$271.42	\$261.56	\$256.69
TOTAL		\$321.22	\$309.32	\$296.40	\$278.98	\$322.14	\$303.92	\$303.11	\$285.63	\$320.89	\$302.00	\$296.12	\$289.36
Non-Construction Costs		\$51.71	\$49.80	\$47.72	\$44.91	\$51.87	\$48.93	\$48.80	\$45.98	\$51.66	\$48.62	\$47.67	\$46.58
GRAND TOTAL		\$372.93	\$359.13	\$344.12	\$323.88	\$374.00	\$352.84	\$351.90	\$331.61	\$372.54	\$350.63	\$343.79	\$335.94
2 - West Central Ohio	NC 101.96												
Site		\$34.74	\$31.58	\$30.33	\$28.56	\$35.37	\$33.01	\$33.00	\$31.06	\$33.58	\$31.60	\$35.71	\$33.75
Building		\$297.16	\$288.03	\$275.91	\$259.69	\$297.48	\$281.01	\$280.19	\$264.06	\$297.97	\$280.45	\$270.25	\$265.23
TOTAL		\$331.90	\$319.61	\$306.25	\$288.25	\$332.85	\$314.02	\$313.19	\$295.12	\$331.55	\$312.04	\$305.96	\$298.98
Non-Construction Costs		\$53.43	\$51.46	\$49.31	\$46.41	\$53.59	\$50.56	\$50.42	\$47.51	\$53.38	\$50.23	\$49.26	\$48.13
GRAND TOTAL		\$385.32	\$371.07	\$355.56	\$334.65	\$386.43	\$364.57	\$363.60	\$342.63	\$384.93	\$362.28	\$355.22	\$347.10
3 - Northwestern Ohio	NC 103.30												
Site		\$35.20	\$31.99	\$30.73	\$28.93	\$35.84	\$33.44	\$33.43	\$31.47	\$34.03	\$32.01	\$36.18	\$34.20
Building		\$301.07	\$291.82	\$279.54	\$263.11	\$301.39	\$284.71	\$283.88	\$267.53	\$301.89	\$284.13	\$273.81	\$268.71
TOTAL		\$336.26	\$323.81	\$310.27	\$292.04	\$337.22	\$318.15	\$317.31	\$299.00	\$335.91	\$316.14	\$309.98	\$302.91
Non-Construction Costs		\$54.13	\$52.13	\$49.96	\$47.02	\$54.29	\$51.23	\$51.09	\$48.14	\$54.08	\$50.90	\$49.90	\$48.76
GRAND TOTAL		\$390.39	\$375.95	\$360.23	\$339.05	\$391.51	\$369.36	\$368.38	\$347.13	\$389.99	\$367.04	\$359.89	\$351.67
4 - North Central Ohio	NC 106.90												
Site		\$36.42	\$33.11	\$31.80	\$29.94	\$37.09	\$34.61	\$34.59	\$32.57	\$35.21	\$33.13	\$37.44	\$35.39
Building		\$311.56	\$301.99	\$289.28	\$272.28	\$311.89	\$294.63	\$293.77	\$276.85	\$312.41	\$294.03	\$283.35	\$278.08
TOTAL		\$347.98	\$335.09	\$321.09	\$302.22	\$348.97	\$329.24	\$328.36	\$309.42	\$347.62	\$327.16	\$320.79	\$313.47
Non-Construction Costs		\$56.02	\$53.95	\$51.70	\$48.65	\$56.19	\$53.01	\$52.87	\$49.81	\$55.97	\$52.67	\$51.64	\$50.46
GRAND TOTAL		\$403.99	\$389.05	\$372.78	\$350.86	\$405.15	\$382.23	\$381.21	\$359.23	\$403.58	\$379.83	\$372.43	\$363.92
5 - South Central Ohio	NC 102.98												
Site		\$35.09	\$31.89	\$30.64	\$28.84	\$35.73	\$33.34	\$33.33	\$31.37	\$33.92	\$31.91	\$36.07	\$34.09
Basic Building		\$300.13	\$290.91	\$278.67	\$262.29	\$300.45	\$283.83	\$283.00	\$266.70	\$300.95	\$283.25	\$272.96	\$267.88
TOTAL		\$335.22	\$322.80	\$309.31	\$291.13	\$336.18	\$317.16	\$316.32	\$298.07	\$334.87	\$315.16	\$309.02	\$301.97
Non-Construction Costs		\$53.97	\$51.97	\$49.80	\$46.87	\$54.13	\$51.07	\$50.93	\$47.99	\$53.91	\$50.74	\$49.75	\$48.61
GRAND TOTAL		\$389.18	\$374.78	\$359.11	\$338.00	\$390.30	\$368.21	\$367.24	\$346.06	\$388.78	\$365.90	\$358.77	\$350.58
6 - Southeastern Ohio	NC 100.80												
Site		\$34.35	\$31.22	\$29.99	\$28.23	\$34.97	\$32.63	\$32.62	\$30.71	\$33.20	\$31.24	\$35.30	\$33.37
Basic Building		\$293.78	\$284.75	\$272.77	\$256.74	\$294.09	\$277.82	\$277.01	\$261.06	\$294.58	\$277.26	\$267.18	\$262.21
TOTAL		\$328.13	\$315.97	\$302.76	\$284.97	\$329.06	\$310.45	\$309.63	\$291.76	\$327.78	\$308.49	\$302.48	\$295.58
Non-Construction Costs		\$52.82	\$50.87	\$48.75	\$45.88	\$52.98	\$49.99	\$49.85	\$46.97	\$52.77	\$49.66	\$48.70	\$47.58
GRAND TOTAL		\$380.94	\$366.85	\$351.51	\$330.84	\$382.03	\$360.42	\$359.46	\$338.73	\$380.55	\$358.16	\$351.18	\$343.16
7 - East Central Ohio	NC 107.18												
Site		\$36.52	\$33.19	\$31.89	\$30.02	\$37.18	\$34.70	\$34.68	\$32.65	\$35.30	\$33.21	\$37.54	\$35.48
Basic Building		\$312.37	\$302.78	\$290.04	\$272.99	\$312.71	\$295.40	\$294.54	\$277.58	\$313.22	\$294.80	\$284.09	\$278.81
TOTAL		\$348.89	\$335.97	\$321.93	\$303.01	\$349.89	\$330.10	\$329.22	\$310.23	\$348.53	\$328.02	\$321.63	\$314.29
Non-Construction Costs		\$56.17	\$54.09	\$51.83	\$48.78	\$56.33	\$53.15	\$53.01	\$49.94	\$56.11	\$52.81	\$51.78	\$50.60
GRAND TOTAL		\$405.05	\$390.07	\$373.76	\$351.78	\$406.22	\$383.23	\$382.21	\$360.17	\$404.63	\$380.83	\$373.41	\$364.87
8 - Northeastern Ohio	NC 111.00												
Site		\$37.82	\$34.38	\$33.02	\$31.09	\$38.51	\$35.93	\$35.92	\$33.81	\$36.56	\$34.40	\$38.88	\$36.75
Basic Building		\$323.51	\$313.57	\$300.38	\$282.72	\$323.85	\$305.93	\$305.04	\$287.47	\$324.39	\$305.31	\$294.22	\$288.74
TOTAL		\$361.33	\$347.94	\$333.40	\$313.81	\$362.36	\$341.86	\$340.96	\$321.29	\$360.95	\$339.71	\$333.09	\$325.49
Non-Construction Costs		\$58.17	\$56.02	\$53.68	\$50.52	\$58.34	\$55.04	\$54.89	\$51.72	\$58.11	\$54.69	\$53.62	\$52.40
GRAND TOTAL		\$419.49	\$403.97	\$387.08	\$364.32	\$420.69	\$396.89	\$395.84	\$373.01	\$419.06	\$394.40	\$386.72	\$377.88